

1 PLOT PLAN
SCALE: 1/64"=1'-0"

PROJECT DESCRIPTION AND GOALS:

THE PROPOSED PROJECT IS THE HISTORIC RESTORATION OF THE THREE STREET BUILDING FACADES OF "ODD FELLOWS HALL" BUILDING; THE FACADES ALONG CENTRE, GRAND, AND BAXTER STREET. THE PROJECT'S GOALS ARE TO REVITALIZE THE BUILDING'S AESTHETICS & HISTORIC APPEARANCE IN ORDER TO RESTORE IT TO ITS MAJESTIC ORIGINAL SPLENDOR.

RESTORING THE STOREFRONTS WILL INVOLVE REMOVING UNSIGHTLY AND NON-HISTORICALLY SYMPATHETIC ELEMENTS. REMOVAL OF ALL EXISTING ROLL DOWN GATES, EXISTING ENTRY DOORS, EXISTING STOREFRONTS, EXISTING VENTS, BROKEN WINDOWS, WINDOW BARS, REPAIRING DAMAGED PARTS, RESTORING STOREFRONTS TO AS CLOSE AN APPROXIMATION OF THEIR ORIGINAL LOOK AS POSSIBLE.

NOTE: THIS APPLICATION IS FILED TO REMOVE LPC VIOLATIONS 01/0211, 88/0080 & 15/0404.

BUILDING WIDE SCOPE OF WORK:

1. ENTIRE EXISTING FACADE TO BE CLEANED AND PATCHED REQUIRED. STUCCO MATERIAL TO BE APPLIED AS NEEDED TO RESTORE ORIGINAL HISTORIC CONDITION. REFER TO PLANS FOR PAINT SPECS.
2. CORNICE AND LINTELS AT 1st FLOOR TO BE SCRAPED AND PAINTED AS REQUIRED.
3. CORNICE AT 4th FLOOR TO BE REPAIRED WHERE NECESSARY, SCRAPED AND PAINTED.
4. REMOVE PAINT AND BRICK ABOVE 5th FLOOR WINDOWS. USE PROSOCO-SURE KLEAN HEAVY DUTY PAINT STRIPPED OR SIMILAR NON-ABRASIVE CHEMICAL TREATMENT TO RETURN FACADE TO ITS ORIGINAL CONDITION. REFER TO PLAN, APPENDIX-1 FOR FURTHER INFO.



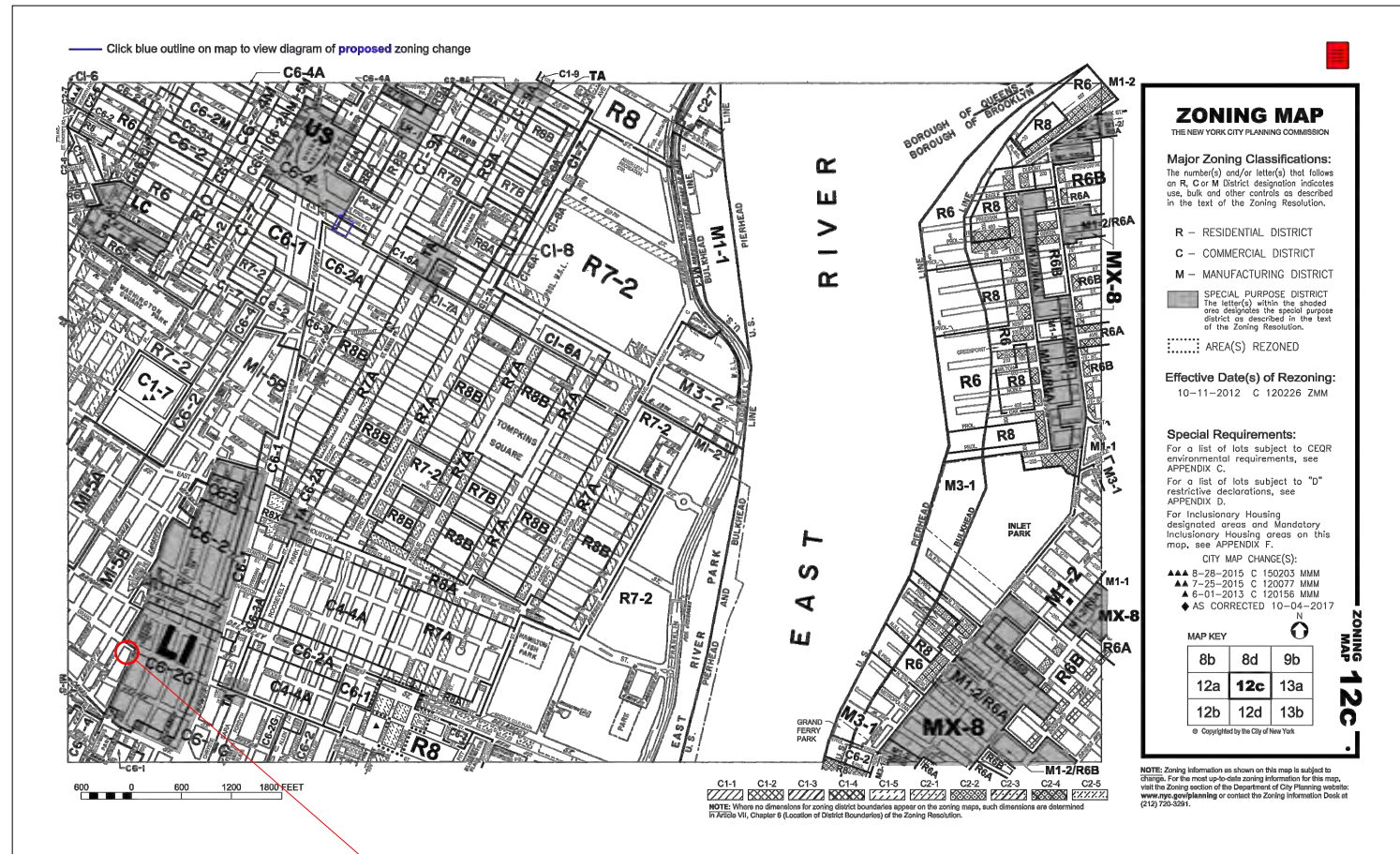
ODD FELLOWS HALL AERIAL VIEW

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175 GREAT NECK ROAD
GREAT NECK, NEW YORK 11021
TEL: (212) 688-6194 (516) 829-0278

PROJECT TITLE
**224 CENTRE STREET
NEW YORK, NY**
LPC PRESENTATION

DRAWING TITLE
**BUILDING CONTEXT
& SCOPE OF WORK**

P-1
Plot Date 5/1/18

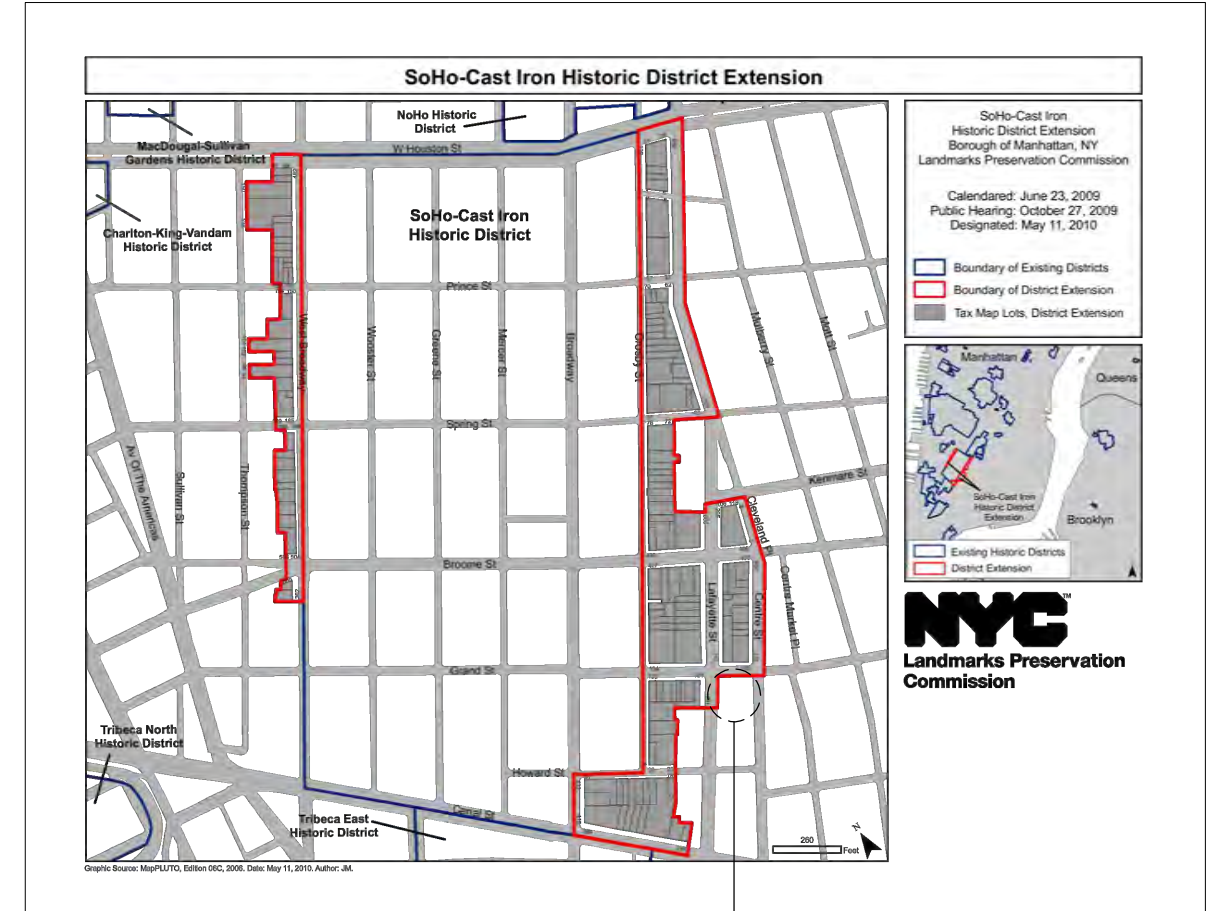


1 ZONING MAP 12c

AREA OF WORK



2 NYC LANDMARKS



3 HISTORIC DISTRICT MAP

AREA OF WORK

224 CENTRE STREET, N.Y.C.
BLOCK: 235
LOT: 13
ZONE: M1-5B

DATE OF CONSTRUCTION: 1847
ARCHITECT: TRENCH & SNOOK
ORIGINAL FUNCTION: COMMERCIAL/INDUSTRIAL
CURRENT FUNCTION: RESIDENTIAL
STYLE: ANGLO-ITALIAN
STORIES: 6
STRUCTURAL/MATERIAL:

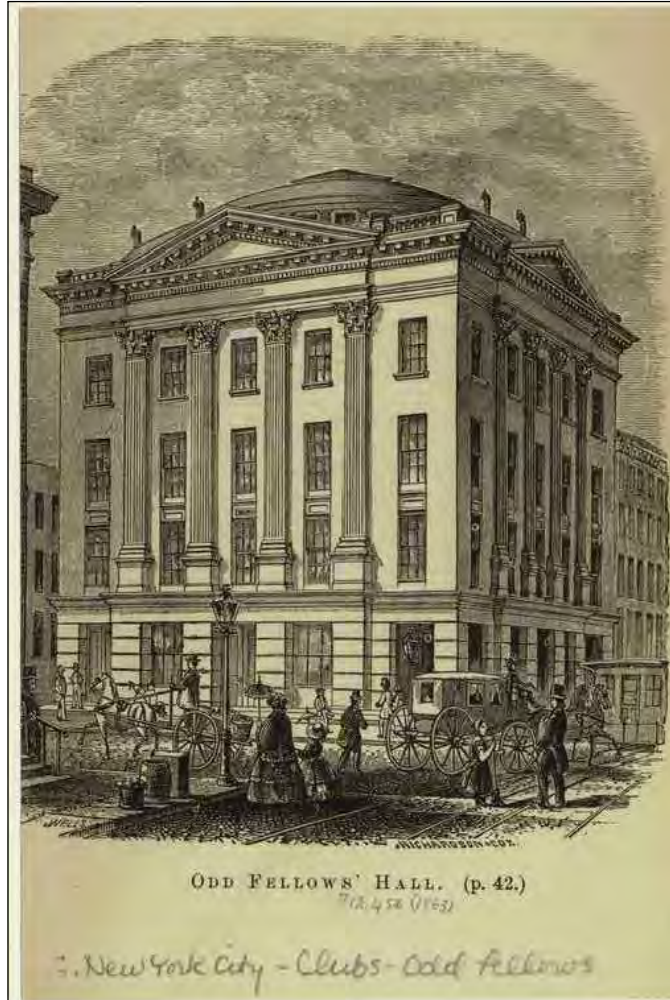
BRIEF HISTORY:
THE ODD FELLOWS HALL LOCATED AT 165-171 GRAND STREET BETWEEN CENTRE AND BAXTER STREET IS IN THE NEIGHBORHOOD OF LITTLE ITALY IN MANHATTAN, NEW YORK CITY. COMMISSIONED BY THE INDEPENDENT ORDER OF ODD FELLOWS, A FRATERNAL ORGANIZATION FOUNDED TO BENEFIT THE SICK AND ORPHANED ESTABLISHED IN NEW YORK IN 1844.

THIS BUILDING WAS DESIGNED BY THE FIRM TRENCH & SNOOK. IN AN ANGLO ITALIANATE STYLE, WAS STARTED IN 1847, COMPLETED IN 1848. IN 1881 THE MANSARD ROOF WAS ADDED BY DESIGNER JOHN BUCKINGHAM.

IN 1982 LPC DESIGNATED THIS BUILDING, AND IT WAS ADDED TO THE REGISTER OF HISTORIC PLACES IN 1983

PRESENT CONDITION OF THE PROPERTY:
ALL OF THE STOREFRONTS HAVE BEEN "MODERNIZED" THROUGHOUT THE LAST 30 YEARS. SOME OF THE BUILDING HAS BECOME LOFT SPACES FOR ARTISTS, AS WELL AS LIVING SPACES.

<p>MELTZER / COSTA AND ASSOCIATES ARCHITECTS & ENGINEERS,LLP 175 GREAT NECK ROAD GREAT NECK, NEW YORK 11021 TEL: (212) 688-6194 (516) 829-0278</p>	<p>PROJECT TITLE</p> <p>224 CENTRE STREET NEW YORK, NY</p>	<p>DRAWING TITLE</p> <p>ZONING & DISTRICT INFORMATION</p>	<p>P-2</p>
	<p>LPC PRESENTATION</p>	<p>Plot Date 5/1/18</p>	



1850'S DRAWING



1970'S PHOTO



2018 PHOTO



1850'S DRAWING

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PROJECT TITLE
**224 CENTRE STREET
NEW YORK, NY**

LPC PRESENTATION

DRAWING TITLE
HISTORICAL PHOTOS

P-3

Plot Date 5/1/18



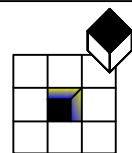
CENTRE STREET



GRAND STREET



BAXTER STREET



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PROJECT TITLE
**224 CENTRE STREET
NEW YORK, NY**
LPC PRESENTATION

DRAWING TITLE
EXISTING PHOTOS

P-4
Plot Date 5/1/18

BUILDING INFORMATION	
ADDRESS	224 CENTRE ST., NEW YORK, NY, 10013
BLOCK	235
LOT	13
MAP#	12C
ZONE	M1-B5
OCCUPANCY GROUP	COM
CONSTRUCTION CLASS	1C
LOFT BOARD IMD REGISTRATION No.	10100

PROGRESS INSPECTION (2014)	
DIR-14 FINAL INSPECTION	DIR 14/75

SPECIAL INSPECTION (2014)	
STRUCTURAL STABILITY - EXISTING BUILDINGS	BC 1704.20.1
MECHANICAL DEMOLITION	BC 1704.20.4

TENANT PROTECTION PLAN (28-104.8.4) 2016 CODE

THE ELEMENTS OF THE TENANT PROTECTION PLAN MAY VARY DEPENDING ON THE NATURE AND SCOPE OF THE WORK BUT AT A MINIMUM SHALL MAKE DETAILED AND SPECIFIC PROVISIONS FOR:

- EGRESS: AT ALL TIMES IN THE COURSE OF CONSTRUCTION PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY THIS CODE AND THE TENANT PROTECTION PLAN SHALL IDENTIFY THE EGRESS THAT WILL BE PROVIDED. REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME EXCEPT WHERE APPROVED BY THE COMMISSIONER.
- FIRE SAFETY: ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED.
- HEALTH REQUIREMENTS: SPECIFICATION OF METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL, AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED.
3.1. THERE SHALL BE INCLUDED A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS.
- COMPLIANCE WITH HOUSING STANDARDS: THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE, AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.
- STRUCTURAL SAFETY: NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE OCCUPANTS.
- NOISE RESTRICTIONS: WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO THE NEW YORK CITY NOISE CONTROL CODE, SUCH LIMITATIONS SHALL BE STATED.

CONSTRUCTION CLASS - TABLE 3-4

- CONSTRUCTION CLASS: 1C (2 HR PROTECTED)
- EXT. SEPARATION:
 - PERMITTED EXT. WALLS: 3" OR LESS - BEARING - 2 HR, NON-COMBUSTIBLE MIN. W/ 10% MAX. EXT. OPNG. (FOOTNOTE "A") = 1(63-10)X47-2" WALLS=301.1 SF
 - PROPOSED: 0FT - 9FT SEPARATION, 2 HR, NON-COMBUSTIBLE.
 - EXT. OPNG. = 112 SF = 301.1 COMPLIES
 - INTERIOR BEARING WALLS:
 - PERMITTED: 2 HR, COMBUSTIBLE MIN.
 - EXISTING: 2HR, COMBUSTIBLE - COMPLIES
 - ENCLOSURE VERTICAL EXITS, SHAFTS, ETC.
 - PERMITTED: 2HR, NON-COMBUSTIBLE MIN.
 - EXISTING: 2 HR, NON-COMBUSTIBLE - COMPLIES
 - FIRE DIVISIONS/SEPARATIONS: N/A
 - COLUMNS, STRUC. MEMBERS, FLRS ETC:
 - PERMITTED: 1.5 HR, COMB. MIN.
 - EXISTING: 1.5 HR, NON-COMBUSTIBLE - COMPLIES
 - FLOOR CONSTRUCTION INCL. BEAMS:
 - PERMITTED: 1 HR, NON-COMBUSTIBLE
 - EXISTING: 1 HR, NON-COMBUSTIBLE
 - ROOF:
 - PERMITTED - 1 HR, NON-COMBUSTIBLE MIN.
 - EXISTING - 1 HR, NON-COMBUSTIBLE - COMPLIES

NYCECC 2016 NOTE:

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT ALL WORK UNDER THIS APPLICATION IS EXEMPT FROM THE NYCECC IN THAT THE WORK IS AN ALTERATION OF A STATE OR NATIONAL HISTORIC BUILDING.

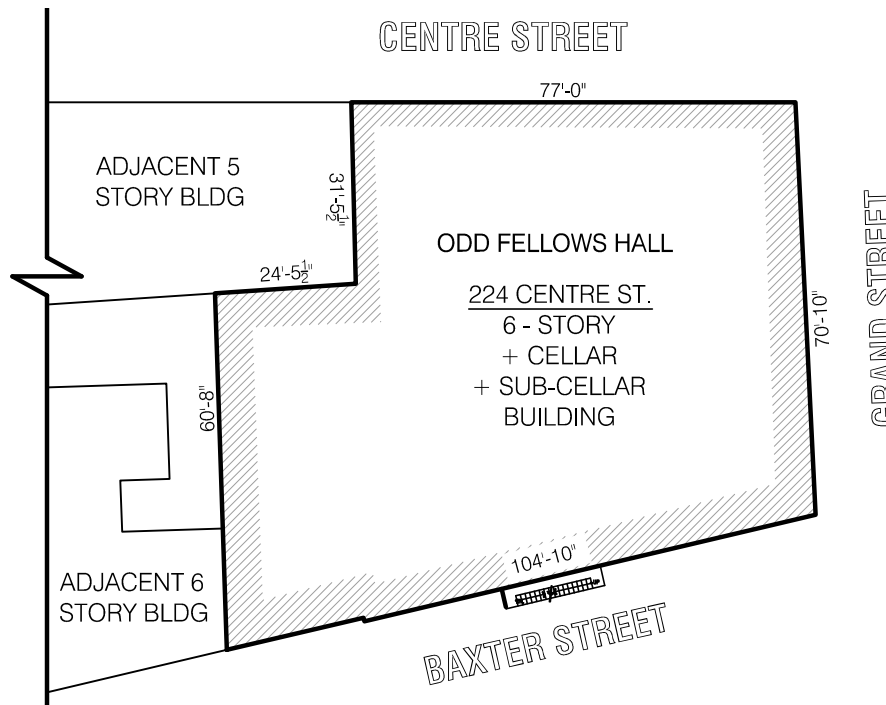
TEMPORARY SIDEWALK FENCE FILED UNDER APP #140263060

LIST OF DRAWINGS

A-100	ZONING INFO, PLOT PLAN, NOTES
A-101	PROPOSED CENTRE STREET PLAN, ELEVATION & PHOTOGRAPHS
A-102	PROPOSED GRAND STREET PLAN, ELEVATION & PHOTOGRAPHS
A-103	PROPOSED BAXTER STREET PLAN, ELEVATION & PHOTOGRAPHS
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A-203	EXISTING & PROPOSED BAXTER STREET ELEVATION
A-204	DOOR & WINDOW DETAILS
A-301	DOOR & WINDOW DETAILS
S-100	EXISTING & PROPOSED CELLAR VAULT PLAN
S-101	STRUCTURAL DETAILS

PAINT SCHEDULE

A	BENJAMIN MOORE: MOOR-O-MATIC COLOR SYSTEM - HC-58
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SCOPE OF WORK

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MASTER PLAN A VENTILATION PLAN IS TO BE PROPOSED AS A SOLUTION FOR ANY NEED FOR HVAC CURRENT & FUTURE AS NEEDED PER FLOOR AND UNITS.-SEE SHEETS A-203.00 & A-207.00

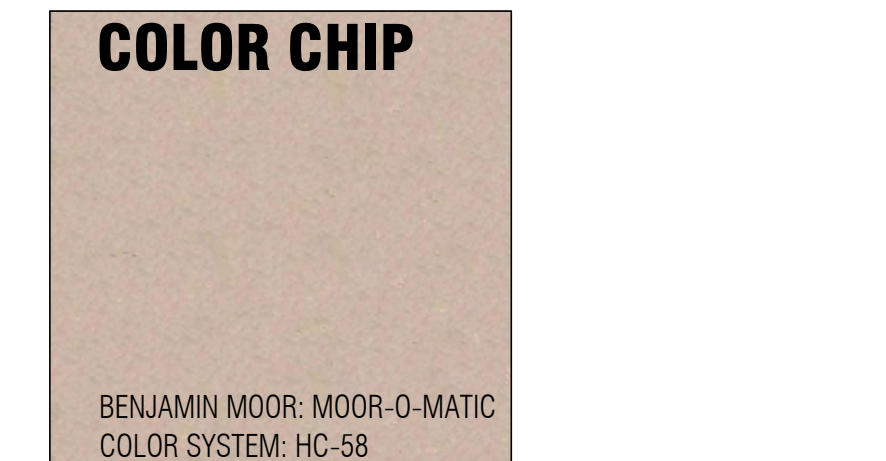
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- CONCRETE NOTES:**
- ALL CONCRETE WORK SHALL COMPLY WITH THE AMERICAN CONCRETE INSTITUTE ("ACI") BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" ACI 318, AS MODIFIED BY SUBCHAPTER 10 ARTICLE 5 OF THE NYC BUILDING CODE.
 - ALL CONCRETE WORK SHALL COMPLY WITH ACI 301-05 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
 - CALCIUM CHLORIDE (OR ANY ADMIXTURE CONTAINING CHLORIDE SALTS) SHALL NOT BE USED IN CONCRETE.
 - UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL BE NORMAL WEIGHT WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND A MAXIMUM WATER/CEMENT RATIO OF 0.50 BY WEIGHT, MAXIMUM SLUMP SHALL BE 4 IN. AIR-ENTRAINMENT SHALL BE 5.5% +/- 1%.
 - ALL BILLET REINFORCEMENT STEEL SHALL BE GRADE 60 (Fy = 60 ksi) AND SHALL CONFORM TO ASTM SPECIFICATION OF DEFORMED AND PLAIN BILLET STEEL BARS FOR CONCRETE REINFORCEMENT, ASTM A615.
 - ALL WELDED WIRE FABRIC SHALL CONFORM TO THE STANDARDS OF ASTM A62 AND A185. ALL WELDED WIRE FABRIC SHALL BE LAPPED TWO (2) FULL MESH PANELS AT ENDS AND SIDES AND TIED SECURELY, UNLESS OTHERWISE NOTED. MINIMUM WVF 4 X 4 - W2.9 X W2.9 SHALL BE PROVIDED UNLESS OTHERWISE NOTED.
 - ALL REINFORCING STEEL SHALL BE SECURELY HELD SECURELY IN PLACE DURING CONCRETE PLACEMENT, IF REQUIRED, CHAIRS, REINFORCEMENT BARS, TIES, SPACERS OR ADDITIONAL BARS AND STIRRUPS SHALL BE PROVIDED TO FURNISH SUPPORT FOR ALL BARS. ALL ANCILLARY SUPPORT ELEMENTS SHALL BE MADE FROM NON-CORRODIBLE MATERIALS.
 - GROUT FOR STEEL COLUMN BASES TO BE NON-SHRINK WITH Fc = 5,000 p.s.i.
 - ALL LAP SPLICES SHALL BE 17L UNLESS OTHERWISE NOTED.
 - DOWELS SHALL BE DRILLED IN AND SHALL HAVE THE MINIMUM EMBEDMENT INDICATED. ANCHOR DOWELS USING SHRINK-GROUT 212 (OR EQUIVALENT).
 - APPLY SIKKA ARMATED 110 BONDING AGENT (OR EQUIVALENT) ON ALL HARD CONCRETE SURFACES TO RECEIVE NEW CONCRETE. FOLLOW MANUFACTURER SPECIFICATIONS.
 - ALL SLABS SHALL BE TROWEL FINISHED.
 - ALL EXPOSED CONCRETE TO BE AIR ENTRAINED.
 - ALL PLUMBING SLOTS TO BE FILLED WITH CONCRETE TO THE SAME DEPTH AS THE SLAB AFTER PIPING IS INSTALLED.



APPENDIX - 1

- PAINT SHALL BE REMOVED FROM THE FACADE OF THE BUILDING BY POWER WASHING. APPLYING NECESSARY APPLICATIONS OF COATING REMOVAL CHEMICAL (PROSOCO OR EQUIVALENT) TO PAINTED AREA AS PER MANUFACTURE'S SPECIFICATION. SEE APPENDIX-1
- POWER WASH FACADE AT A PRESSURE NOT TO EXCEED 500 PSI.
- REPEAT PROCESS AS REQUIRED.
- CONTRACTOR SHALL USE TEKTON TAPING KNIFE OR EQUIVALENT FOR LIGHT SCRAPING ONLY AS REQUIRED TO REMOVE PAINT WITHOUT CAUSING ANY DAMAGE TO BRICK WORK.

NOTE:
RESPONSIBILITY OF THE CONTRACTOR TO REFER TO THE PRODUCT DATA SHEET AND MATERIAL SAFETY DATA SHEET FOR ADDITIONAL RECOMMENDATIONS AND SAFETY INFORMATION

TEST AREA:
TEST A MINIMUM 4 FT. BY 4 FT. AREA ON EACH TYPE OF MASONRY. USE MANUFACTURER'S APPLICATION INSTRUCTIONS. LET THE TEST PANEL DRY 3 TO 7 DAYS BEFORE INSPECTION. KEEP TEST PANELS AVAILABLE FOR COMPARISON THROUGHOUT THE CLEANING PROJECT.

TECHNICAL DATA:
FORM: WHITE GEL
SPECIFIC GRAVITY: 1.293
pH: 14
WT./GAL.: 10.6 lbs.
TOTAL SOLIDS: N/A
ACTIVE CONTENT: N/A
FLASH POINT: > 200 degrees F (> 93 degrees C) ASTM D3278
FREEZE POINT: < -22 degrees F (< -30 degrees C)
SHELF LIFE: 2 years in tightly sealed, unopened container.

- LIMITATIONS:**
- Product efficiency is reduced during cold weather. surface and air temperatures should be at least 50 degrees F (10 degrees C) during application.
 - Contains highly alkaline ingredients. neutralize treated surfaces with Sure Klean® Limestone & Masonry Afterwash or other appropriate Sure Klean® cleaner.
 - Do not use wood. Alkaline ingredients raise the grain of wood and may interfere with paint adhesion or performance.
 - Not appropriate for metal surfaces.

APPLICATION:
BEFORE APPLYING, READ "PREPARATION" AND "SAFETY INFORMATION" SECTIONS IN THE MANUFACTURE'S PRODUCT DATA SHEET FOR HEAVY DUTY PAINT STRIPPER. DO NOT DILUTE OR ALTER. STIR OR MIX WELL BEFORE USE.

- REMOVE ALL LOOSE AND PEELING PAINT USING PRESSURE WATER OR SCRAPER. LET SURFACE DRY THOROUGHLY.
- APPLY APPROXIMATELY 1/8 INCH COAT OF STRIPPER.
- LEAVE PAINT STRIPPER ON THE SURFACE UNTIL THE PAINT IS ODDIOUSLY "LIFTED" OR DISSOLVED. IF STRIPPER IS LEFT ON THE SURFACE UNATTENDED, TAKE PRECAUTIONS TO PREVENT PEDESTRIANS FROM COMING NEAR TREATED SURFACES.
- USING PRESSURE-RISING EQUIPMENT AND WORKING FROM THE BOTTOM OF THE TREATED SURFACE TO THE TOP, THOROUGHLY RINSE THE STRIPPER AND SOLUBILIZED PAINT FROM THE SURFACE. USE AS MUCH WATER AS POSSIBLE. THE BEST COMBINATION OF RINSING PRESSURE AND WATER VOLUME IS PROVIDED BY MASONRY WASHING EQUIPMENT GENERATING 400-1000 PSI WITH A WATER FLOW RATE OF 6-8 GALLONS PER MINUTE DELIVERED THROUGH A 15-45 DEGREE FAN SPRAY TIP. EQUIPMENT SHOULD BE ADJUSTABLE TO REDUCE WATER FLOW RATE AND RINSING PRESSURE AS REQUIRED FOR CONTROLLED CLEANING OF MORE SENSITIVE SURFACES. SEE ALSO "EQUIPMENT" SECTION OF THE PRODUCT DATA SHEET.
- REAPPLY STRIPPER IF NEEDED. SHORTER DWELL TIMES ARE USUALLY ENOUGH ON SECOND APPLICATIONS WHERE ONLY A LITTLE PAINT REMAINS.

SURFACE NEUTRALIZATION:
WHEN ALL PAINT HAS BEEN REMOVED, TREATED SURFACES MUST BE NEUTRALIZED BY APPLYING A SOLUTION OF SURE KLEAN® LIMESTONE & MASONRY AFTERWASH PURSUANT TO THE APPLICATION INSTRUCTIONS ON THE PRODUCT LABEL.

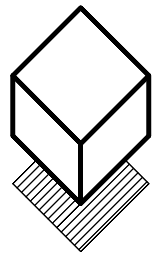
- BRUSH APPLY THE PREPARED AFTERWASH TO TREATED SURFACES IN A GENTLE SCRUBBING MANNER. LET AFTERWASH STAY ON THE SURFACE 3 TO 5 MINUTES.
- RINSE THE TREATED AREA THOROUGHLY. REMOVE ALL TRACES OF PASTE RESIDUE AND SOLUBILIZED PAINT COATINGS. NOTE: WHEN RINSING, HEATED WATER (150°-180°F; 65°-82°C) IMPROVES REMOVAL EFFICIENCY AND REDUCES RINSE WATER AND LIQUID WASTE.
- USING pH PAPERS, pH PEN OR pH INDICATOR SOLUTIONS, CHECK TREATED SURFACES TO ENSURE NEUTRALIZATION HAS BEEN ACHIEVED. REPEAT STEPS 6-7 ABOVE IF NEEDED UNTIL SURFACE pH IS 5.0 TO 9.0.
- LET NEUTRALIZED SURFACE DRY THOROUGHLY. BEFORE APPLYING NEW SURFACE COATINGS, CHECK THE CLEANED SURFACE AGAIN USING pH PAPERS, pH PEN OR pH INDICATOR SOLUTIONS. CHECK THAT SURFACE pH IS NEUTRAL. INADEQUATE NEUTRALIZATION MAY CAUSE SURFACE DISCOLORATION OR FAILURE OF NEW SURFACE COATINGS.

NOTE: WHEN REMOVING 15-20 COATS OF PAINT, A SECOND APPLICATION DIRECTLY OVER THE FIRST APPLICATION (BEFORE RINSING) OFTEN IMPROVES STRIPPING EFFICIENCY. LET THE FIRST COAT DWELL FOR THE PREDETERMINED TIME BEFORE THE SECOND APPLICATION.

SPECIFIED NOTE: FAILURE TO NEUTRALIZE THE SURFACE MAY RESULT IN AN ALKALINE RESIDUE THAT MAY CAUSE UNSIGHTLY WHITE HAZE AND INTERFERE WITH ADHESION OF CLEAR SEALERS AND PAINT COATINGS. IF THE WASTE GENERATED THROUGH PIAINT STRIPPING OPERATIONS IS CLASSIFIED AS "HAZARDOUS" CONTRACTORS MUST CONSULT AND COMPLY WITH CURRENT FEDERAL, STATE AND LOCAL REGULATIONS REGARDING CONTAINMENT, TRANSPORT AND DISPOSAL OF HAZARDOUS WASTE. SEE ALSO "LEAD-BASED PAINT REMOVAL" SECTION OF THE MANUFACTURER'S PRODUCT DATA SHEET.

ODD FELLOWS HALL

224 CENTRE STREET, NEW YORK NY.

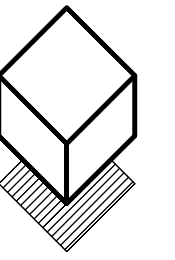


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CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.

ISSUE		
DATE	#	DESCRIPTION
4/10/2018	1	SUBMIT TO LPC

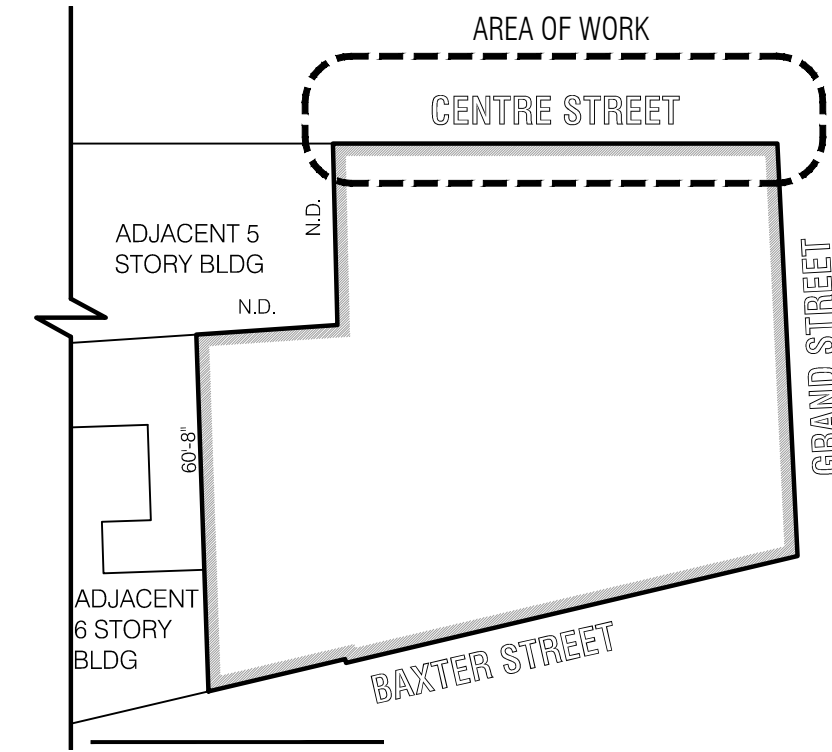
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224 CENTRE ST. NEW YORK, NY	
DRAWING TITLE:	
ZONING INFO, PLOT PLAN, NOTES	
PROJECT#	08203
SHEET#	01 of 12
A-100.00	
B-SCAN	



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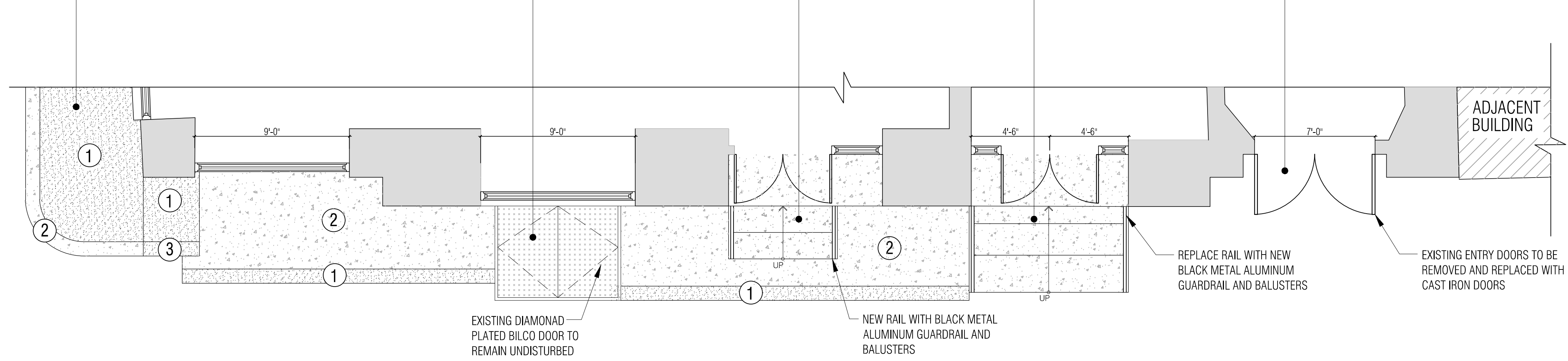


KEY PLAN
 SCALE: N.T.S.

1 PROPOSED CENTRE STREET ELEVATION
 SCALE: 1/4"=1'-0"



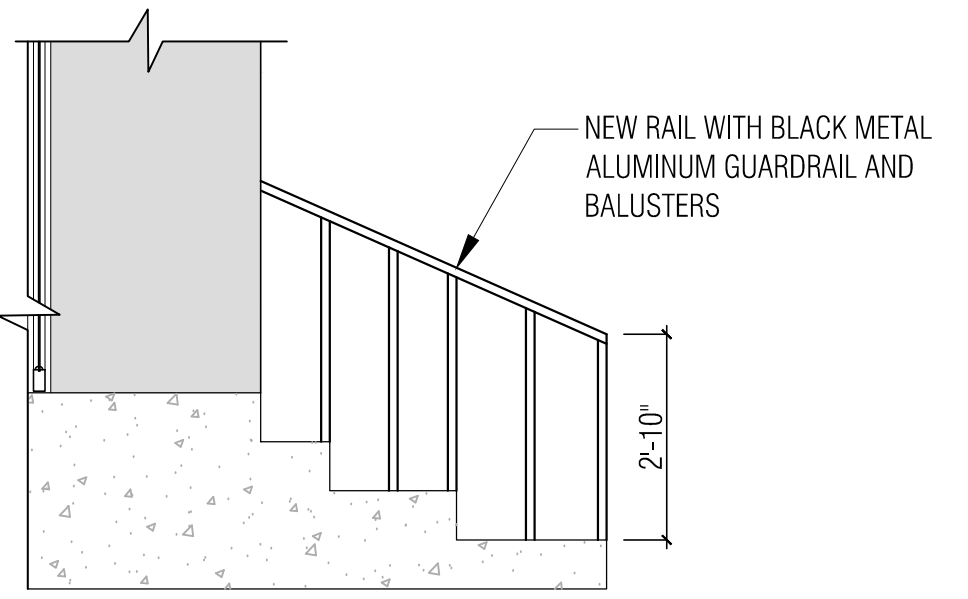
4 PROPOSED CAST IRON ENTRY DOORS
 SCALE: N.T.S.



LEGEND

- EXISTING BROWNSTONE
- EXISTING CONCRETE
- 1** EXISTING HISTORIC BROWNSTONE TO REMAIN IN PLACE. USE NATURAL STONE REPAIR MORTAR BY JAHN(M70) TO REPAIR AND FILL IN CRACKS AS REQUIRED. COLOR TO MATCH EXISTING STONE
- 2** EXISTING TINTED CONCRETE. USE PROSOCO CURE & SEAL REMOVER TO PREP CONCRETE FOR GRINDING OF TOP LAYER AND REMOVAL OF EXISTING COATINGS. USE TINTED CONCRETE TO REFINISH SURFACE. COLOR TO MATCH EXISTING BROWNSTONE
- 3** REPLACE BOTTOM STEP WITH TINTED CONCRETE AND RESET HISTORIC BROWNSTONE STEP ABOVE. USE NATURAL STONE REPAIR MORTAR BY JAHN(M70) TO REPAIR AND FILL IN CRACKS AS REQUIRED. COLOR TO MATCH EXISTING STONE

2 PROPOSED CENTRE STREET PLAN
 SCALE: 1/4"=1'-0"



3 PROPOSED RAIL DETAIL
 SCALE: 3/8"=1'-0"

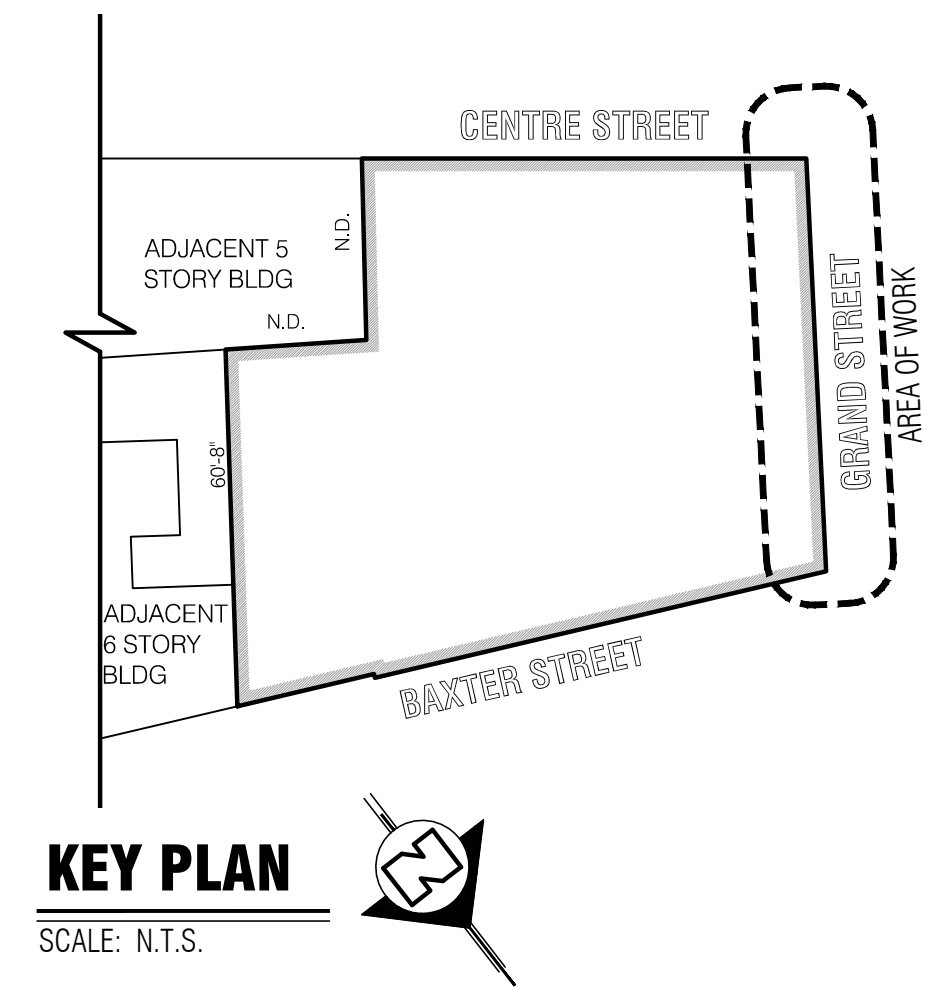
PROJECT TITLE:
**224 CENTRE ST.
 NEW YORK, NY**

DRAWING TITLE:
**PROPOSED CENTRE ST.
 PLAN, ELEVATION &
 PHOTOGRAPHS**

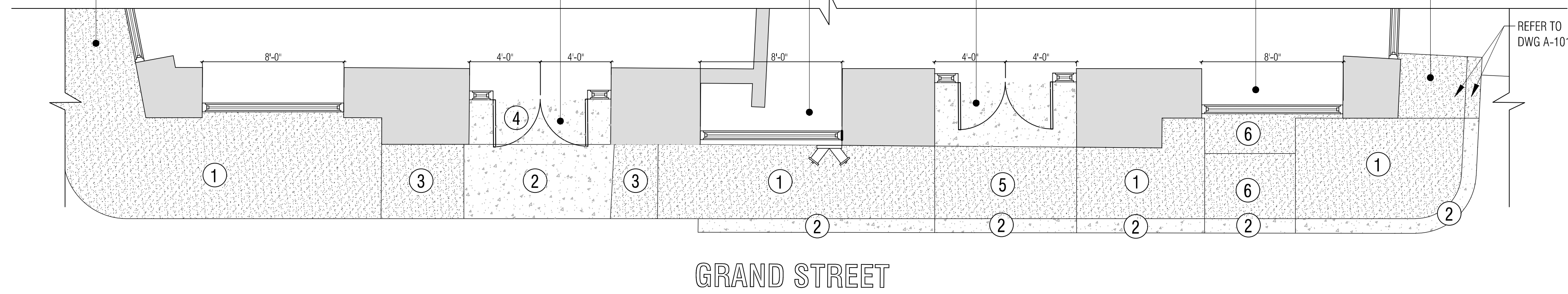
PROJECT# **08203** SHEET: **2 of 12**
 SHEET#
A-101.00



1 PROPOSED GRAND STREET ELEVATION
SCALE: 1/4" = 1'-0"

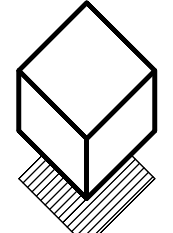


KEY PLAN
SCALE: N.T.S.



2 PROPOSED GRAND STREET PLAN
SCALE: 1/4" = 1'-0"

LEGEND	
	EXISTING BROWNSTONE
	EXISTING CONCRETE
①	EXISTING HISTORIC BROWNSTONE TO REMAIN IN PLACE. USE NATURAL STONE REPAIR MORTAR BY JAHN(M70) TO REPAIR AND FILL IN CRACKS AS REQUIRED. COLOR TO MATCH EXISTING STONE
②	EXISTING TINTED CONCRETE. USE PROSOCUO CURE & SEAL REMOVER TO PREP CONCRETE FOR GRINDING OF TOP LAYER AND REMOVAL OF EXISTING COATINGS. USE TINTED CONCRETE TO REFINISH SURFACE. COLOR TO MATCH EXISTING BROWNSTONE
③	REMOVE CONCRETE RAMP INFILL AND USE NATURAL STONE REPAIR MORTAR BY JAHN (M70) TO REPAIR AND FILL IN CRACKS AS REQUIRED ON EXISTING BROWNSTONE BELOW. COLOR TO MATCH EXISTING BROWNSTONE.
④	REMOVE TILE AND USE TINTED CONCRETE TO REFINISH SURFACE. COLOR TO MATCH EXISTING BROWNSTONE.
⑤	REMOVE PLYWOOD AND CARPET. CONTRACTOR TO CONTACT ARCHITECT TO ASSES CONDITION OF MATERIALS BELOW PLYWOOD AND DECIDE UPON APPROPRIATE COURSE OF ACTION. ARCHITECT TO CONTACT LPC.
⑥	REMOVE DIAMOND PLATE AND USE NATURAL STONE REPAIR MORTAR BY JAHN (M70) TO REPAIR AND FILL IN CRACKS AS REQUIRED ON EXISTING BROWNSTONE. COLOR TO MATCH EXISTING BROWNSTONE.



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ARCHITECTURE & ENGINEERING
175 GREAT NECK ROAD
GREAT NECK, NEW YORK 11021
TEL: (516) 829-0278 (212) 688-6194

CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

ISSUE		
DATE	#	DESCRIPTION
4/10/2018	1	SUBMIT TO LPC

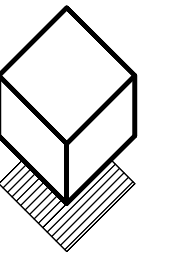
SEAL:

PROJECT TITLE:
**224 CENTRE ST.
NEW YORK, NY**

DRAWING TITLE:
**PROPOSED GRAND ST.
PLAN, ELEVATION &
PHOTOGRAPHS**

PROJECT# **08203** SHEET: **3 of 12**
SHEET#
A-102.00

B-SCAN



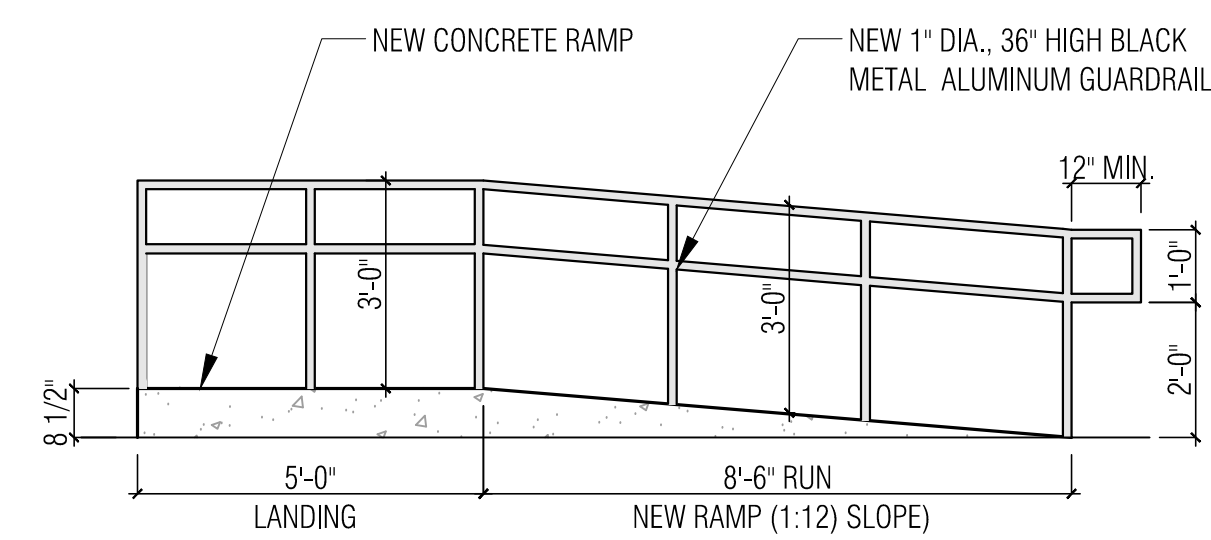
**MELTZER / COSTA
& ASSOCIATES**
ARCHITECTURE & ENGINEERING
175 GREAT NECK ROAD
GREAT NECK, NEW YORK 11021
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DATE	#	ISSUE	DESCRIPTION
4/10/2018	1	SUBMIT TO LPC	



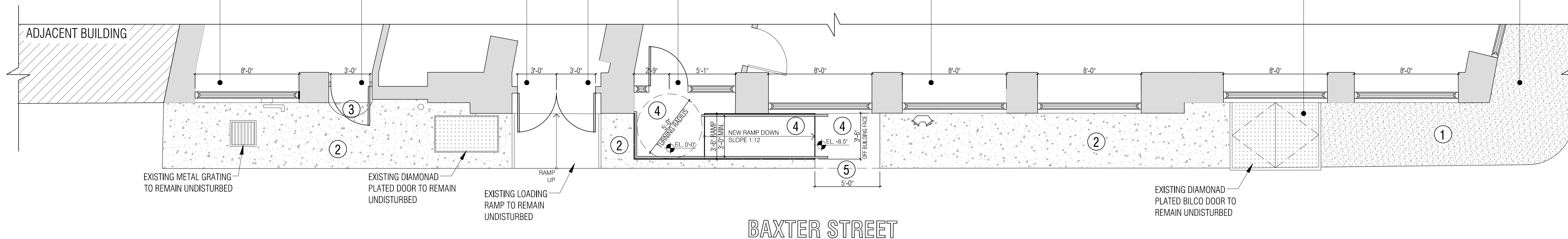
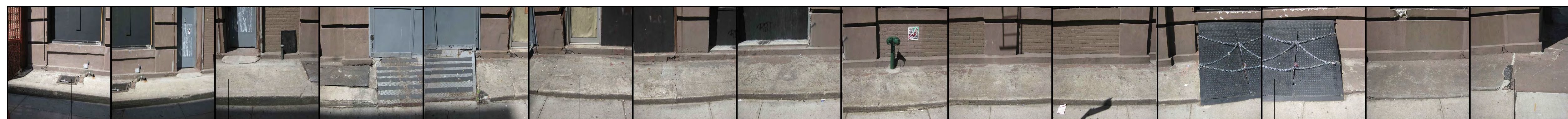
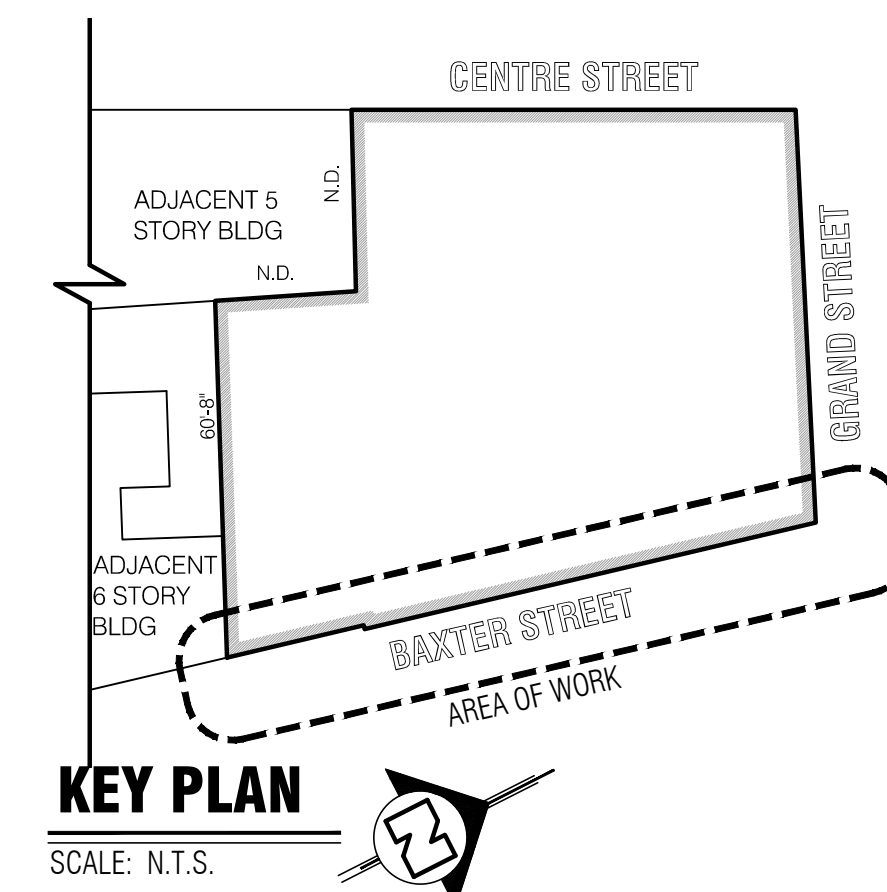
1 PROPOSED BAXTER STREET ELEVATION
SCALE: 1/4"=1'-0"



3 PROPOSED NEW ADA RAMP AND GUARDRAIL
SCALE: 3/8"=1'-0"

LEGEND

- EXISTING BROWNSTONE
- EXISTING CONCRETE
- 1** EXISTING HISTORIC BROWNSTONE TO REMAIN IN PLACE. USE NATURAL STONE REPAIR MORTAR BY JAHN(M70) TO REPAIR AND FILL IN CRACKS AS REQUIRED. COLOR TO MATCH EXISTING STONE
- 2** EXISTING TINTED CONCRETE. USE PROSOCCO CURE & SEAL REMOVER TO PREP CONCRETE FOR GRINDING OF TOP LAYER AND REMOVAL OF EXISTING COATINGS. USE TINTED CONCRETE TO REFINISH SURFACE. COLOR TO MATCH EXISTING BROWNSTONE
- 3** REPLACE POURED CONCRETE IN FRONT OF DOOR. USE PROSOCCO CURE & SEAL REMOVER TO PREP CONCRETE FOR GRINDING OF TOP LAYER AND REMOVAL OF EXISTING COATINGS. USE TINTED CONCRETE TO REFINISH SURFACE. COLOR TO MATCH EXISTING STONE.
- 4** REMOVE EXISTING CONCRETE PLATFORM AT THIS LOCATION FOR NEW HANDICAP RAMP CONSTRUCTION. POUR NEW CONC RAMP AND LANDINGS. (REFER TO 'S' DWGS FOR STRENGTH AND REINFORCING DETAILS). NEW CONC. SHALL BE TINTED. COLOR TO MATCH EXIST'G BROWNSTONE. LANDINGS SHALL BE LEVEL WITH ADJACENT SIDEWALK AND BUILDING ENTRANCE ELEVATIONS.
- 5** EXISTING BROWNSTONE EDGE SHALL BE REMOVED AND REUSED ALONG CENTRE AND GRAND STREETS WHERE EXISTING BROWNSTONE IS DETERIORATING OR MISSING. REMAINING REMOVED BROWNSTONE SHALL BE SAVED AND STORED ON SITE FOR FUTURE USE.



2 PROPOSED BAXTER STREET PLAN
SCALE: 1/4"=1'-0"

SEAL:

PROJECT TITLE:

**224 CENTRE ST.
NEW YORK, NY**

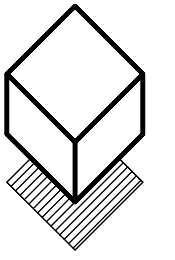
DRAWING TITLE:

**PROPOSED BAXTER ST.
PLAN, ELEVATION &
PHOTOGRAPHS**

PROJECT# **08203** SHEET: **4 of 12**

A-103.00

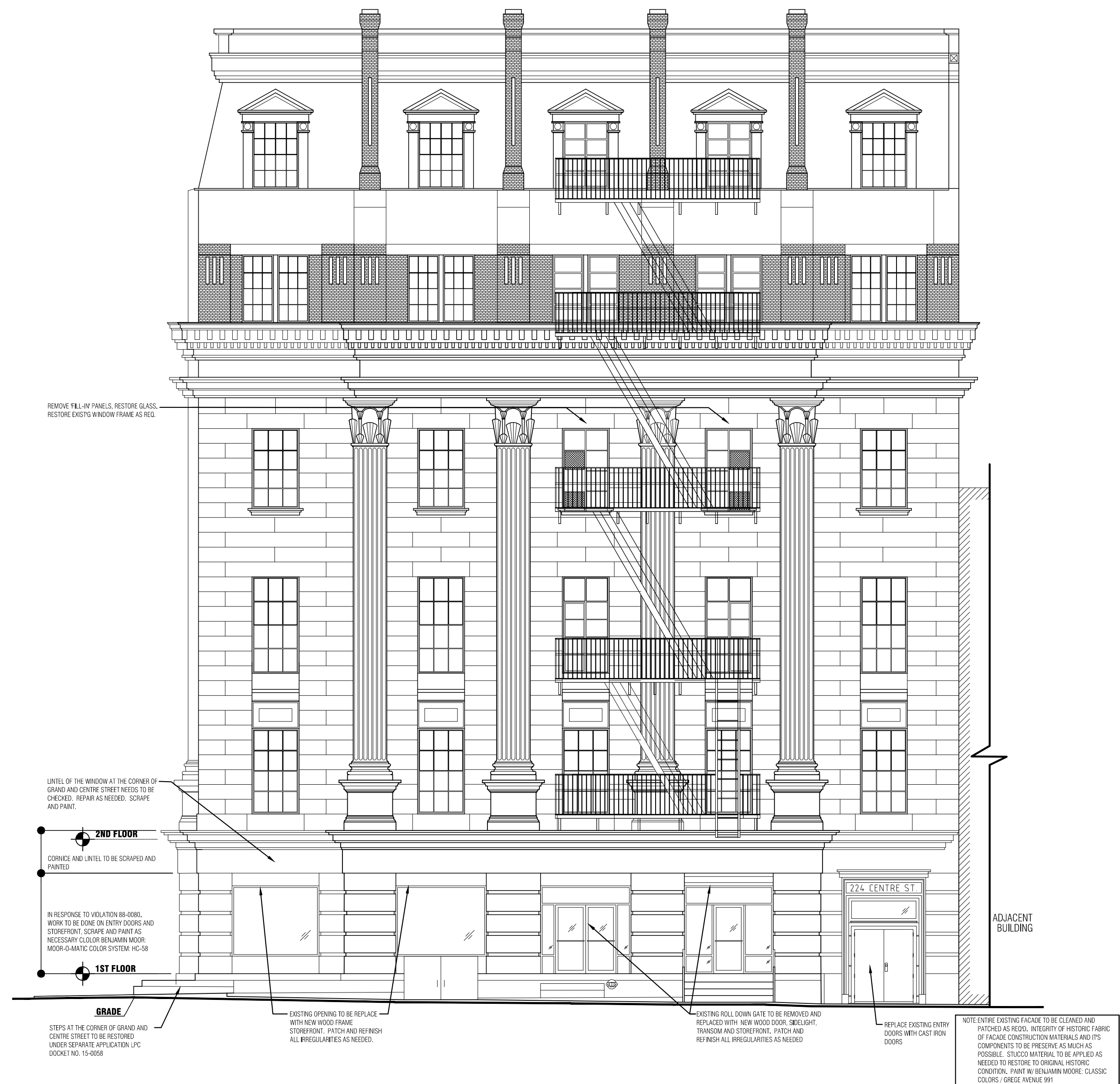
B-SCAN



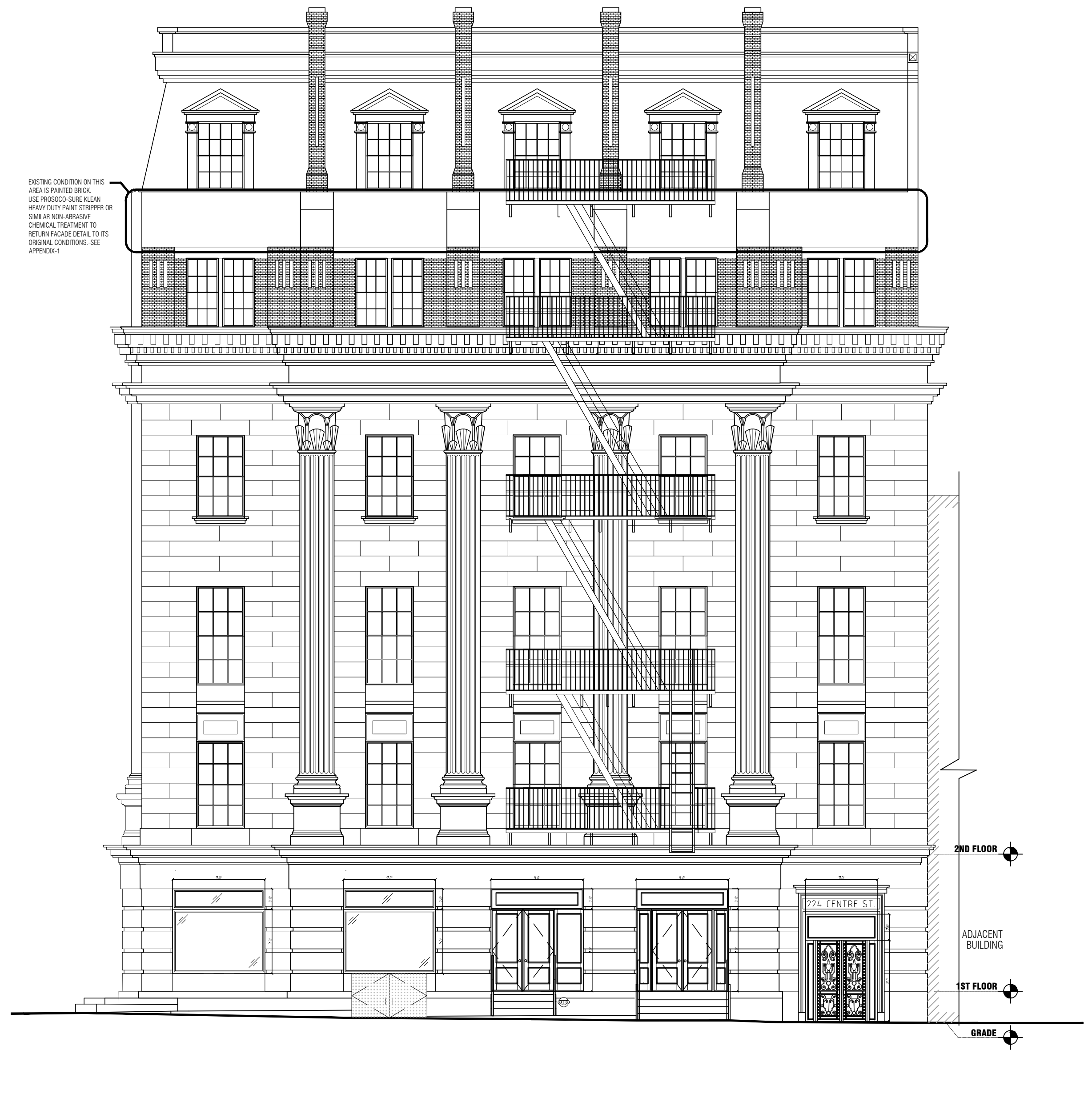
**MELTZER / COSTA
& ASSOCIATES**
ARCHITECTURE & ENGINEERING
175 GREAT NECK ROAD
GREAT NECK, NEW YORK 11021
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ISSUE		
DATE	#	DESCRIPTION
4/10/2018	1	SUBMIT TO LPC



1 EXISTING/DEMO CENTRE STREET ELEVATION
SCALE: 3/16"=1'-0"



2 PROPOSED CENTRE STREET ELEVATION
SCALE: 3/32"=1'-0"

SEAL:

PROJECT TITLE:

**224 CENTRE ST.
NEW YORK, NY**

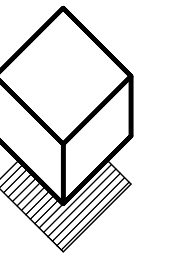
DRAWING TITLE:

**EXISTING & PROPOSED
CENTRE ST. ELEVATION**

PROJECT# **08203** SHEET: **5 of 12**

SHEET# **A-201.00**

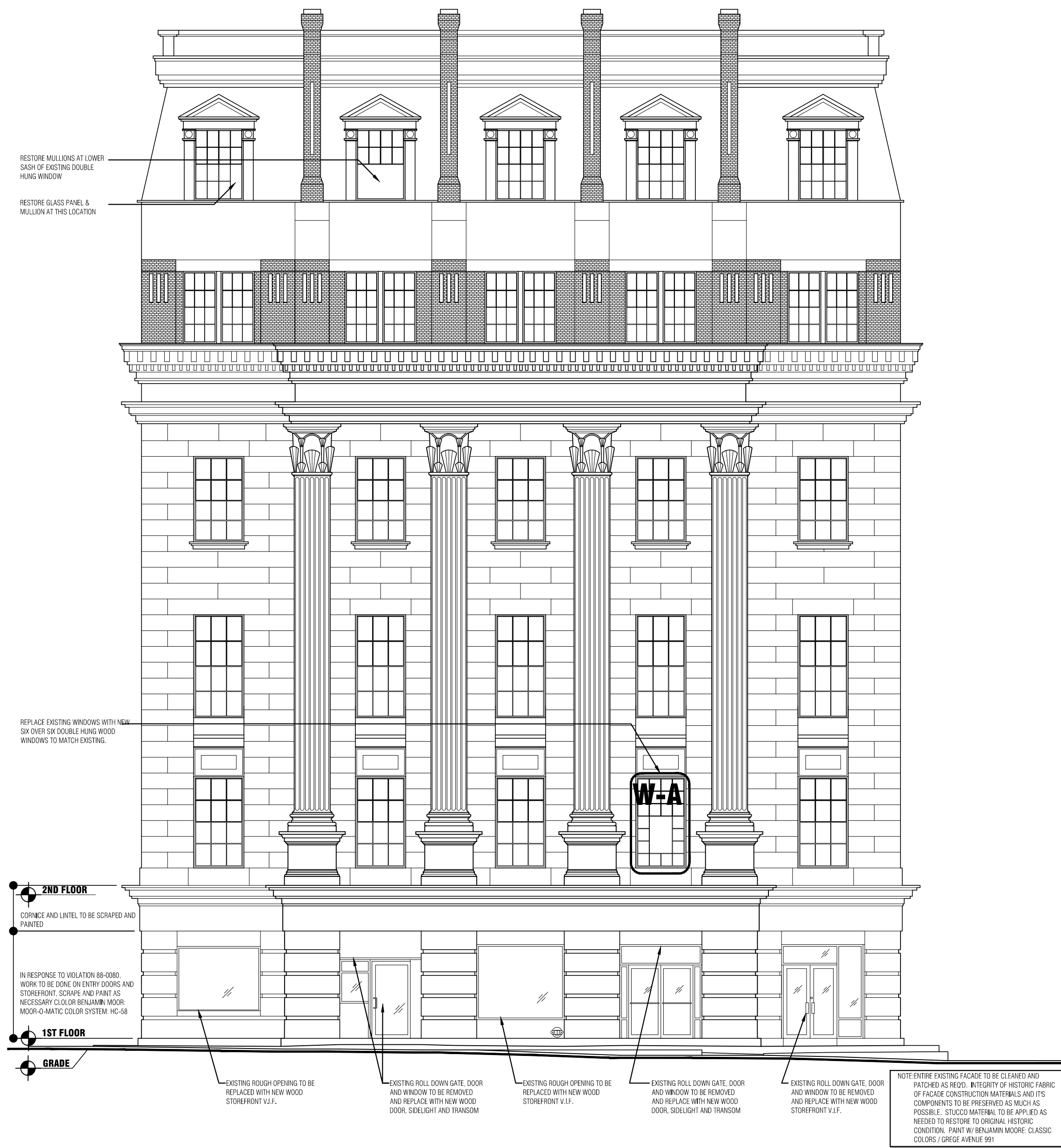
B-SCAN



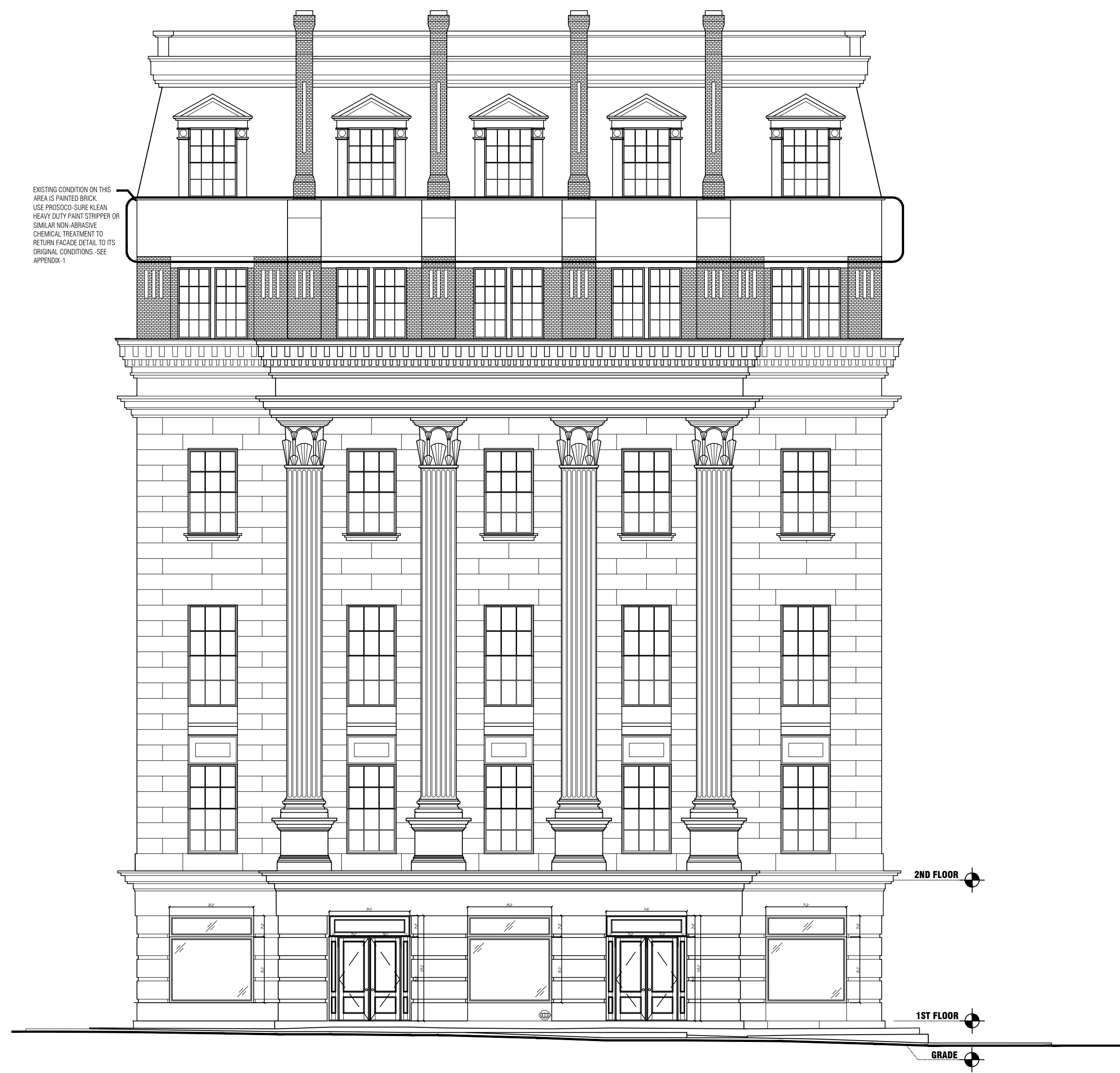
**MELTZER / COSTA
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ISSUE		
DATE	#	DESCRIPTION
4/10/2018	1	SUBMIT TO LPC



1 **EXISTING/DEMO @ GRAND STREET ELEVATION**
SCALE: 3/16" = 1'-0"



2 **PROPOSED ELEVATION @ GRAND STREET**
SCALE: 3/32" = 1'-0"

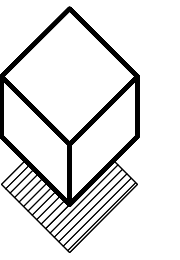
SEAL:

PROJECT TITLE:
**224 CENTRE ST.
NEW YORK, NY**

DRAWING TITLE:
**EXISTING & PROPOSED
GRAND ST. ELEVATION**

PROJECT # **08203** SHEET: **6 of 12**
SHEET #
A-202.00

B-SCAN



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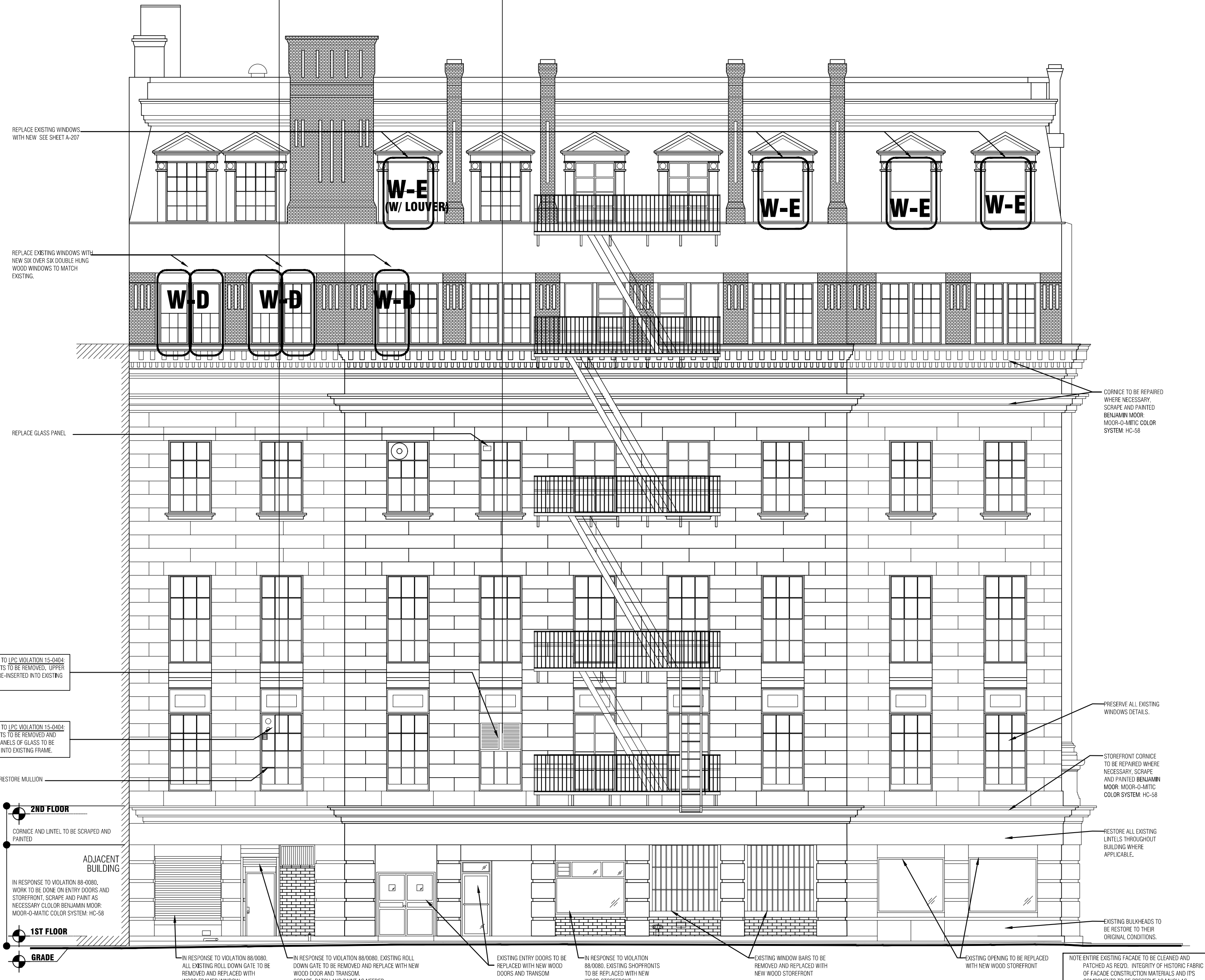
DATE	#	DESCRIPTION
4/10/2018	1	SUBMIT TO LPC



EXISTING VENTS TO BE REMOVED



EXISTING VENTS TO BE REMOVED



1 EXISTING/DEMO BAXTER STREET ELEVATION
SCALE: 3/16" = 1'-0"



2 PROPOSED ELEVATION @ BAXTER STREET
SCALE: 3/32" = 1'-0"

SEAL:

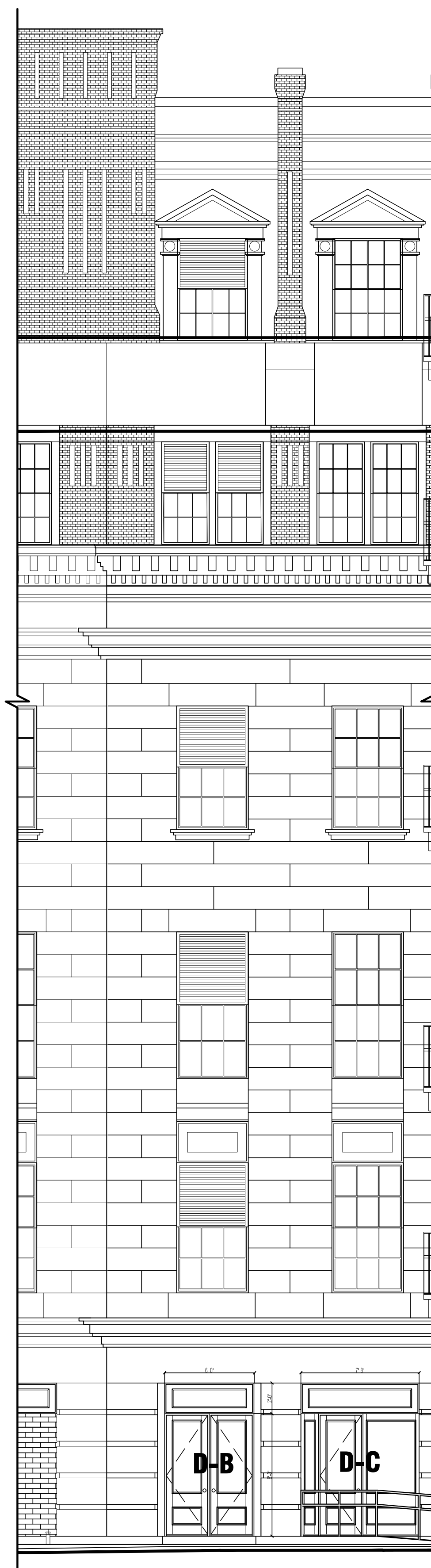
PROJECT TITLE:
**224 CENTRE ST.
NEW YORK, NY**

DRAWING TITLE:
**EXISTING & PROPOSED
BAXTER ST. ELEVATION**

PROJECT # **08203** SHEET: **7 of 12**

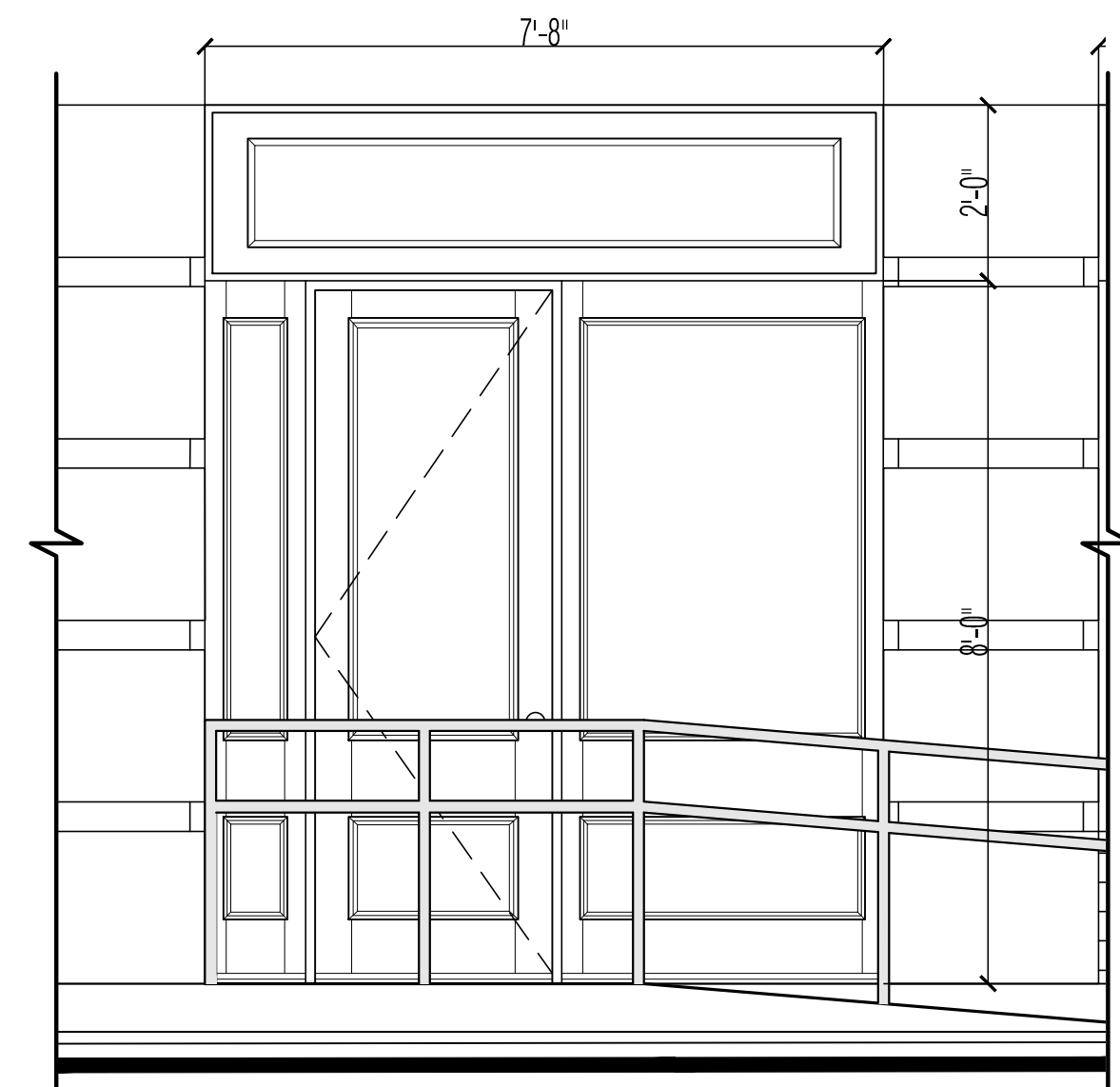
SHEET #
A-203.00

B-SCAN

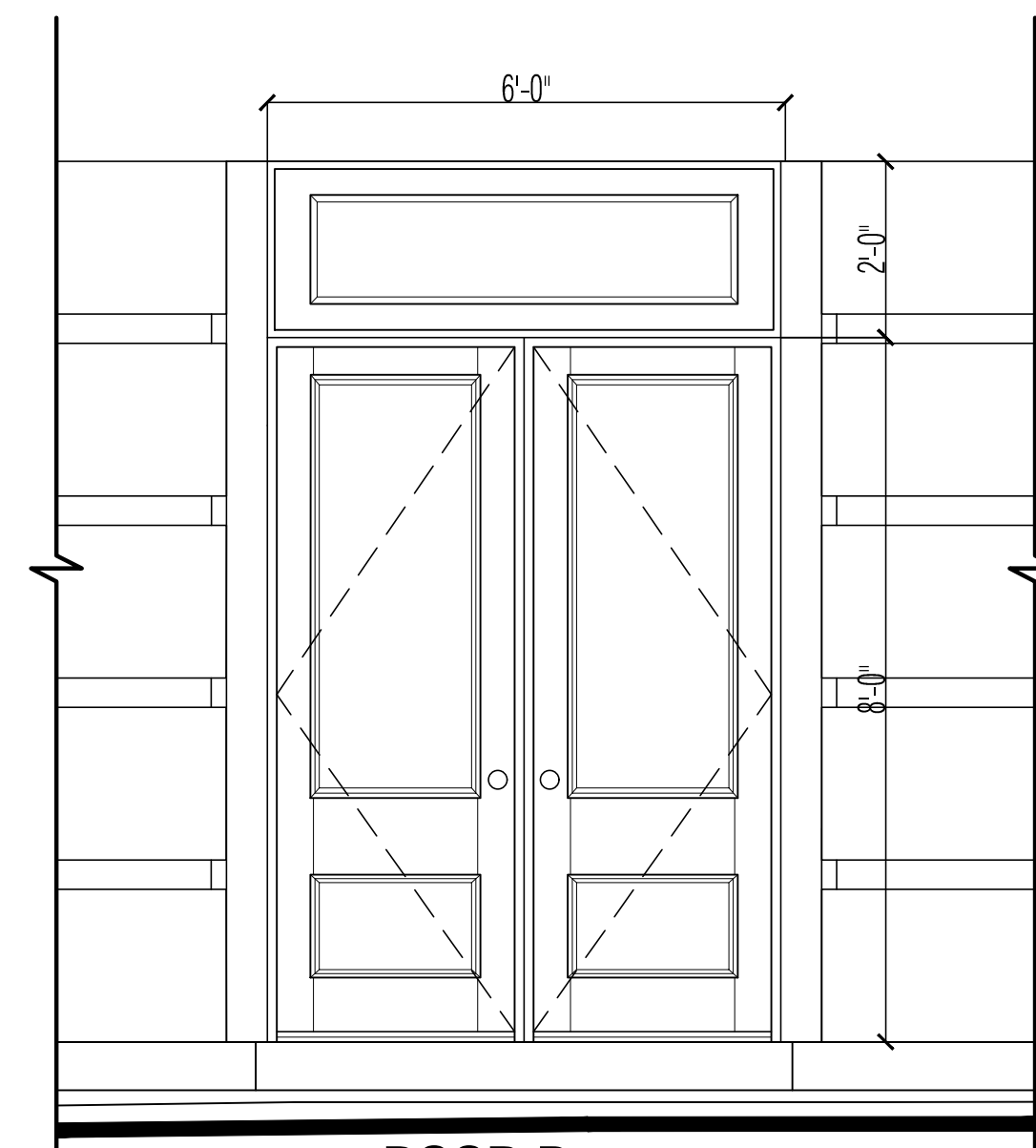


NOTE: NEW STAINLESS STEEL LOUVERS TO BE PAINTED TO MATCH HISTORICAL COLOR
 BENJAMIN MOOR:MOOR-O-MATIC
 COLOR SYSTEM: HC-56

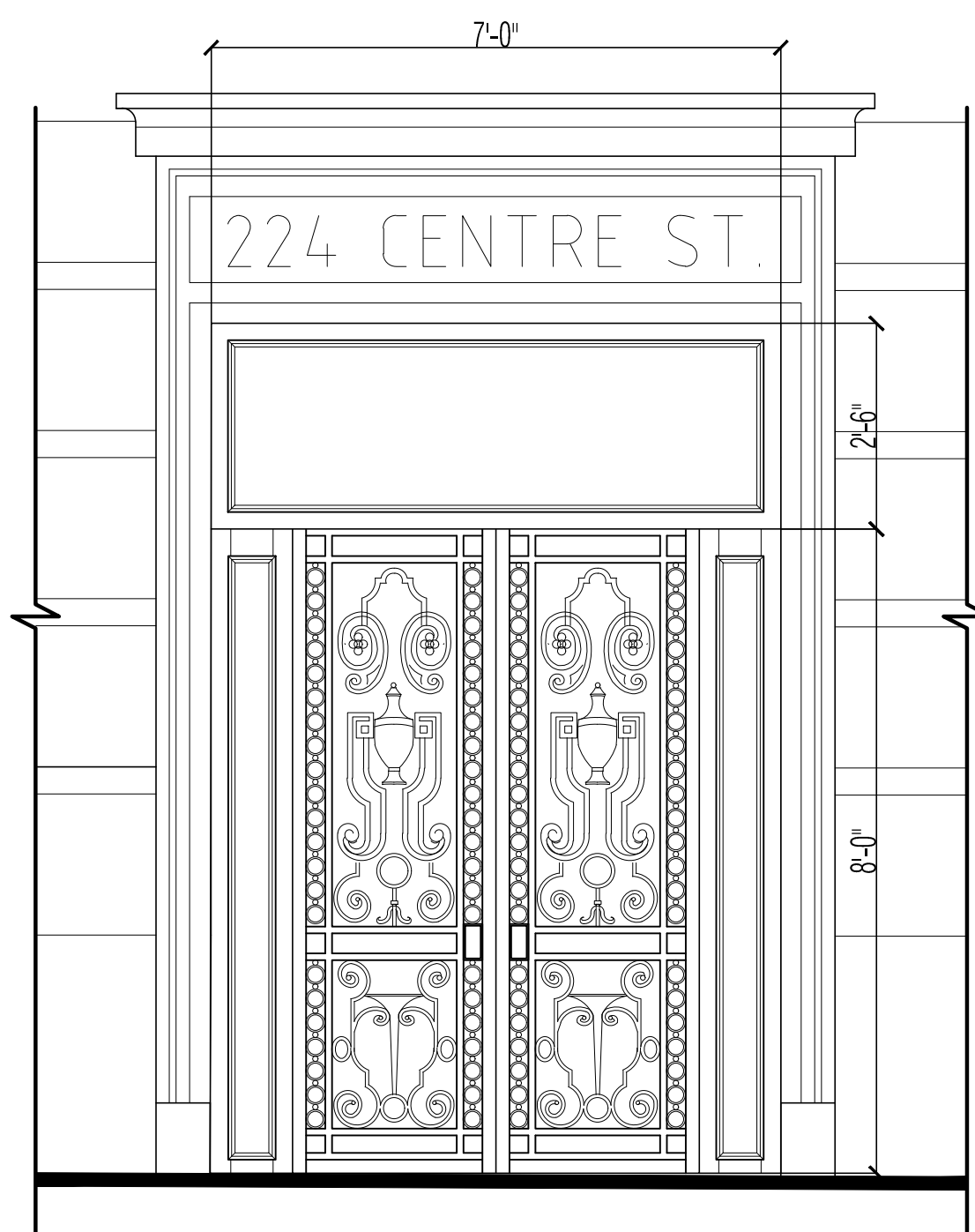
1 PROPOSED LOUVERED WINDOWS
 SCALE: 3/16"=1'-0"



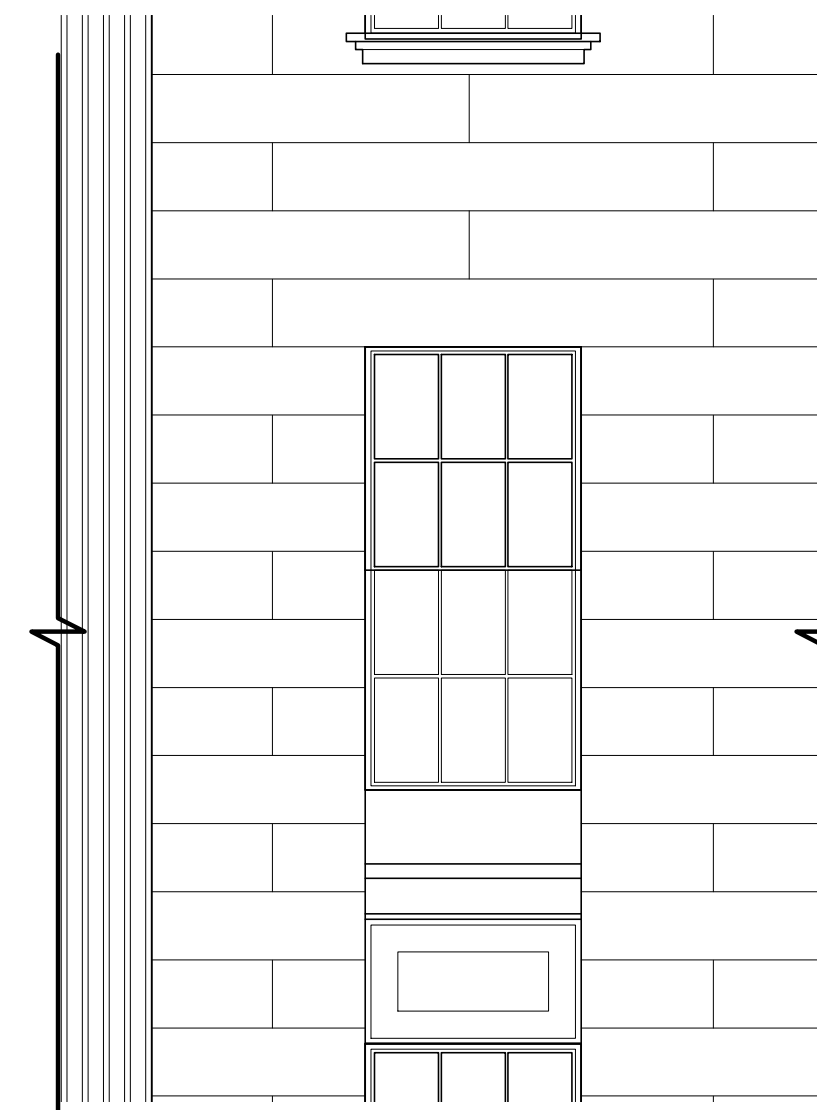
DOOR C
 SCALE: 3/16"=1'-0"



DOOR B
 SCALE: 3/16"=1'-0"



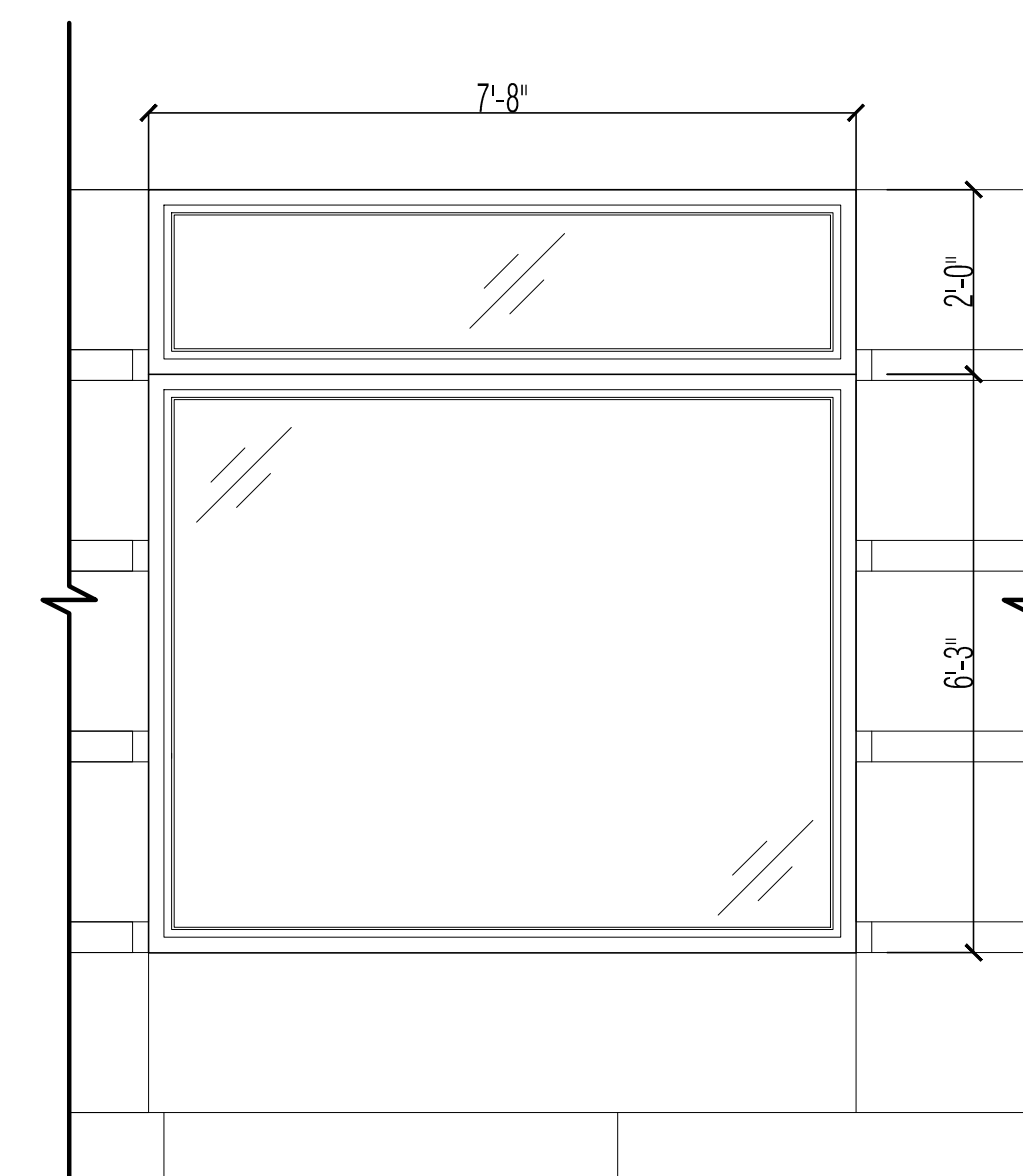
DOOR A
 SCALE: 3/16"=1'-0"



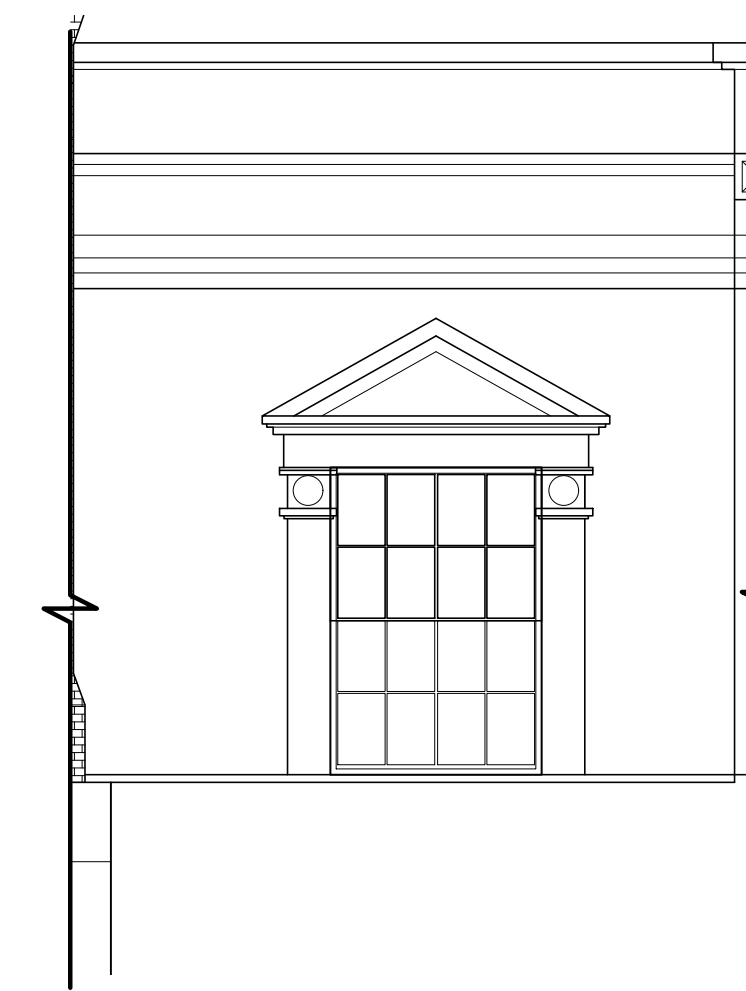
WINDOW B
 SCALE: 1/4"=1'-0"



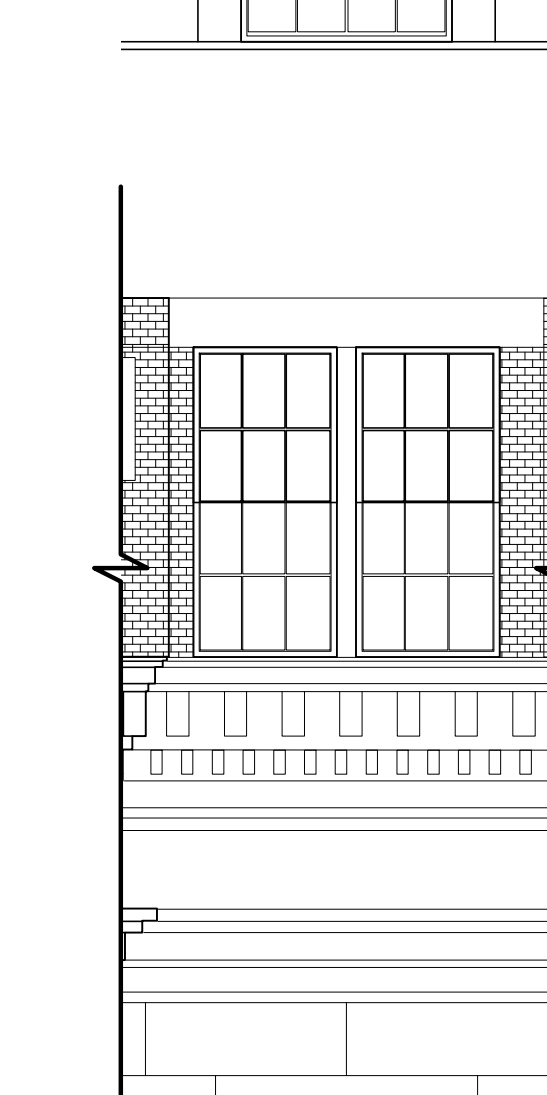
WINDOW A
 SCALE: 1/4"=1'-0"



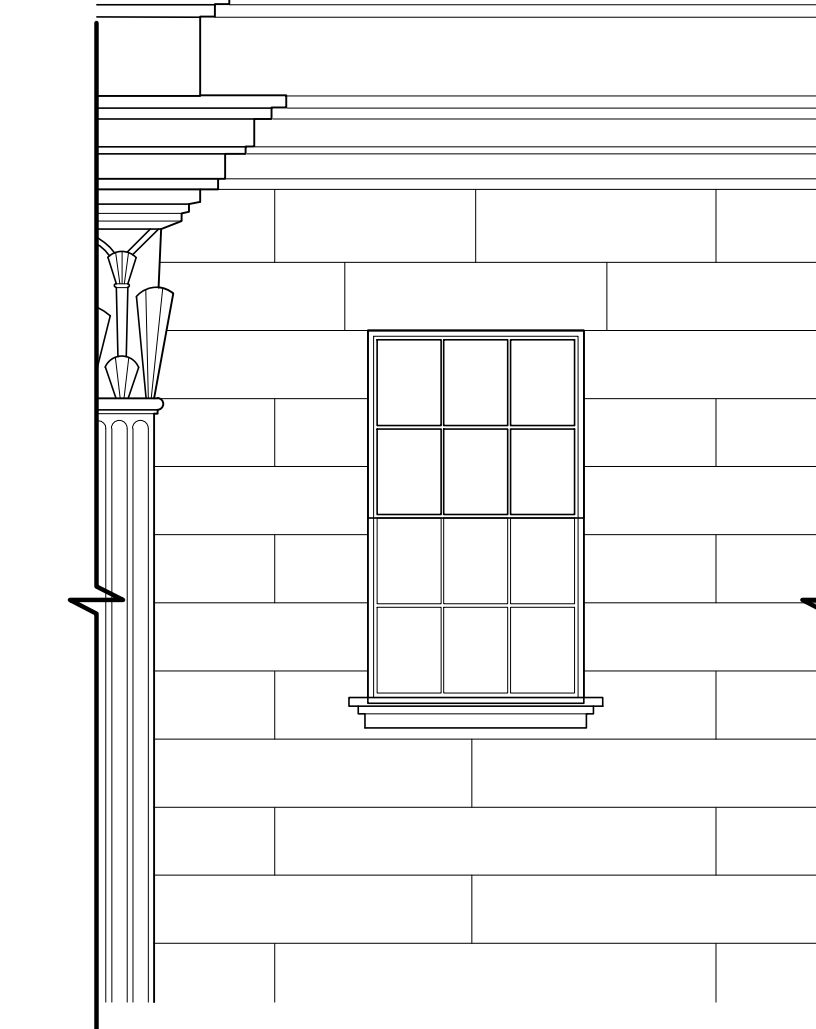
STOREFRONT WINDOW (TYP.)
 SCALE: 1/2"=1'-0"



WINDOW E
 SCALE: 1/4"=1'-0"

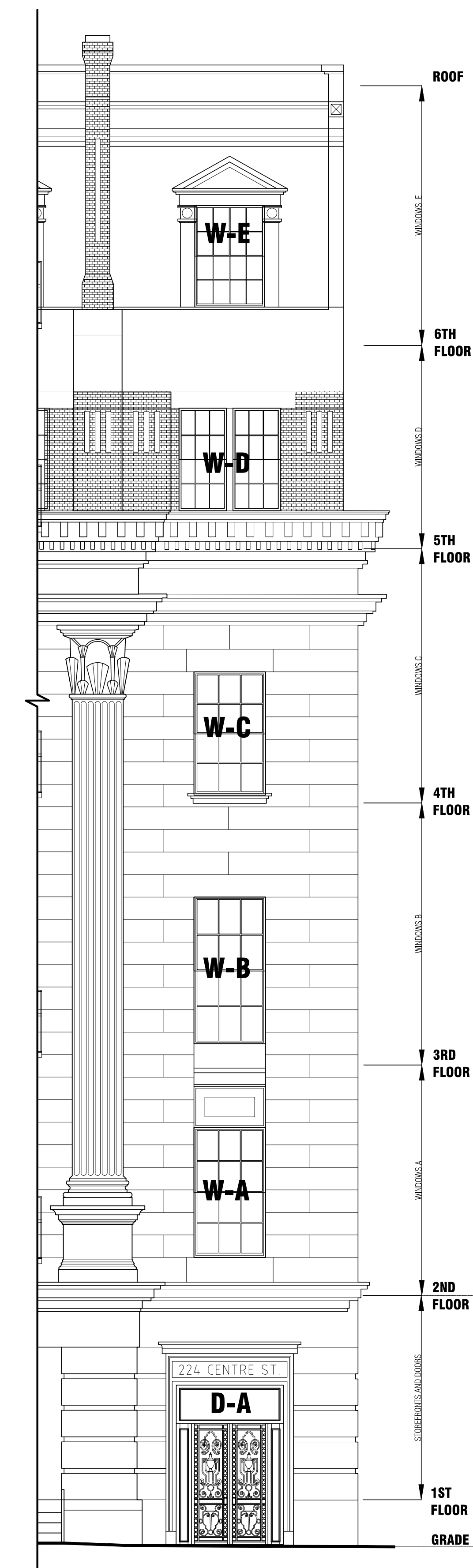


WINDOW D
 SCALE: 1/4"=1'-0"

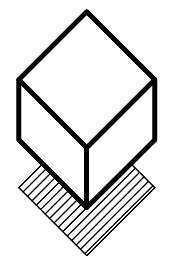


WINDOW C
 SCALE: 1/4"=1'-0"

NOTE: ALL DIMENSIONS TO BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO ORDERING ANY WINDOWS/STOREFRONTS, ETC.



2 PARTIAL FACADE ELEV.
 SCALE: 3/16"=1'-0"



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ISSUE		
DATE	#	DESCRIPTION
4/10/2018	1	SUBMIT TO LPC

SEAL:

PROJECT TITLE:

**224 CENTRE ST.
 NEW YORK, NY**

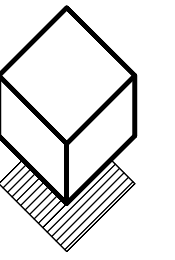
DRAWING TITLE:

DOOR & WINDOW DETAILS

PROJECT# **08203** SHEET: **8 of 12**

SHEET#
A-204.00

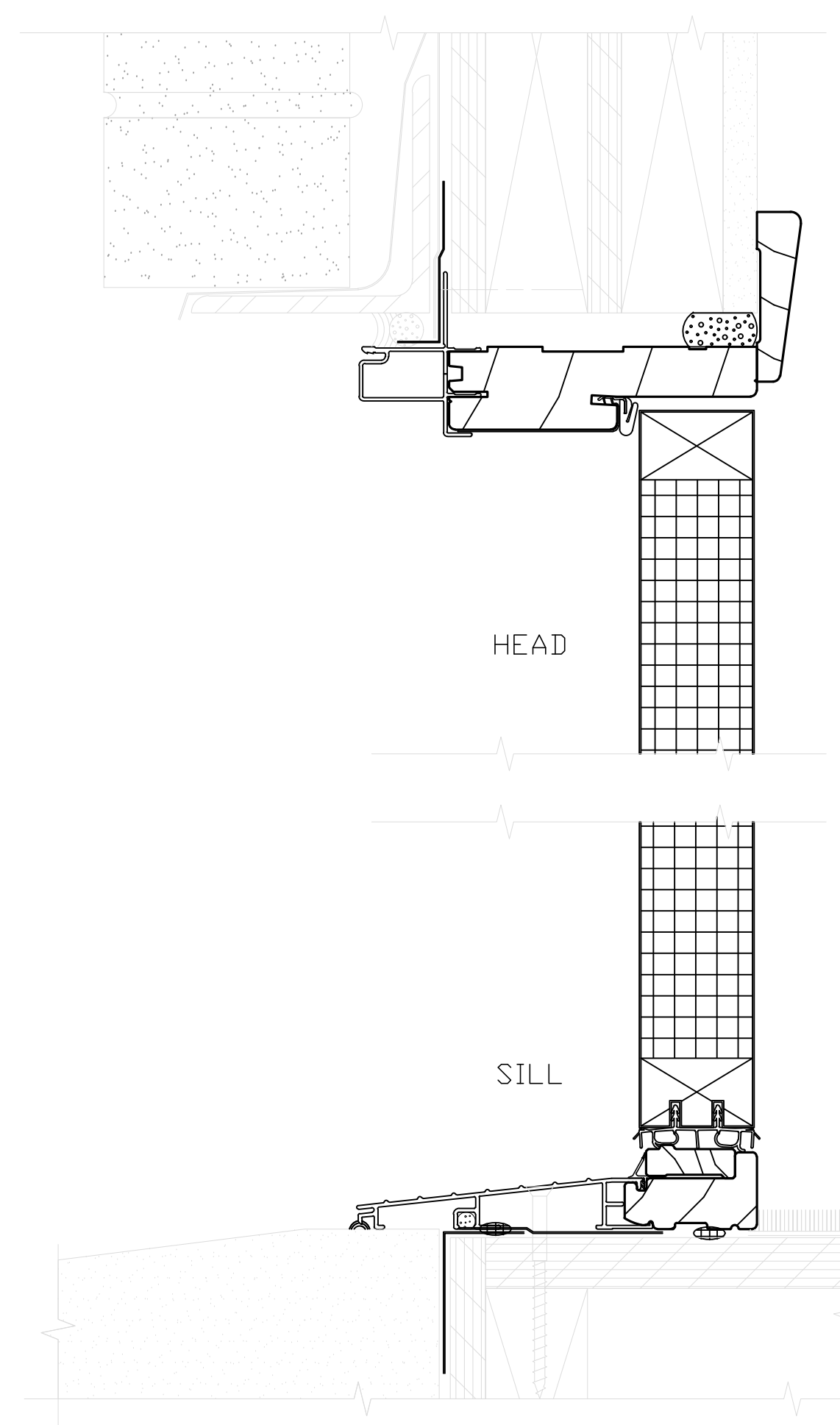
B-SCAN



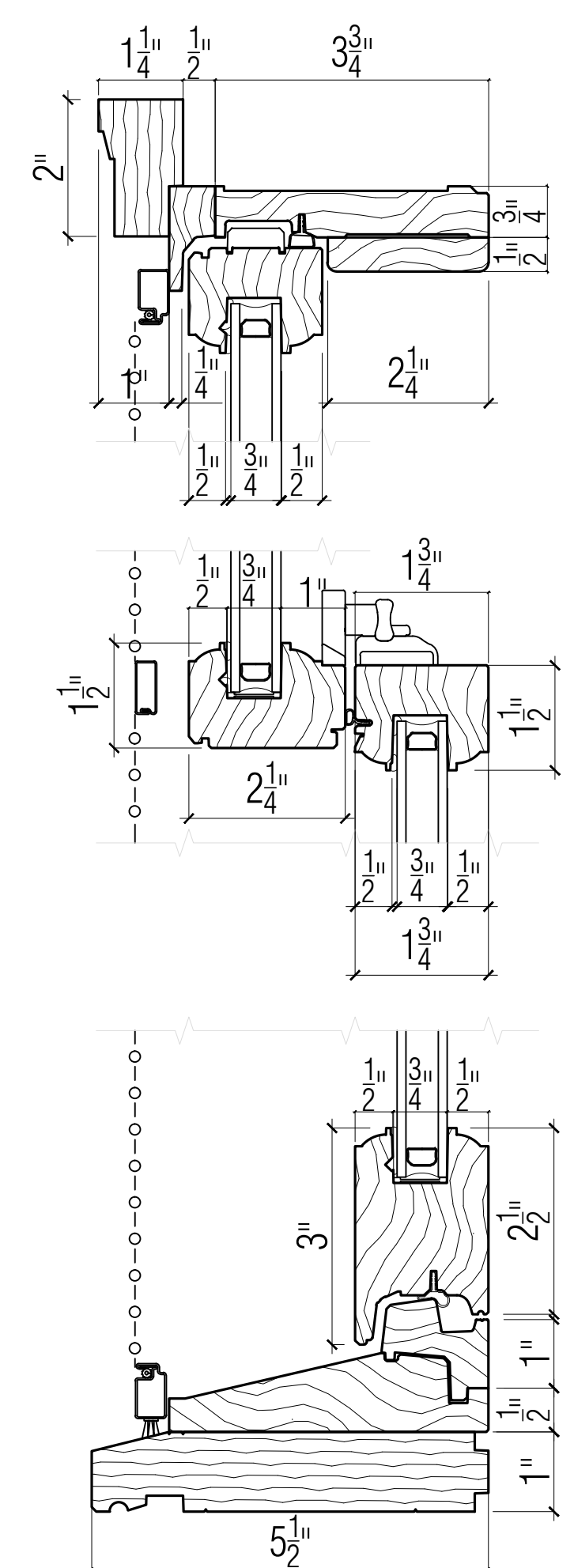
**MELTZER / COSTA
& ASSOCIATES**
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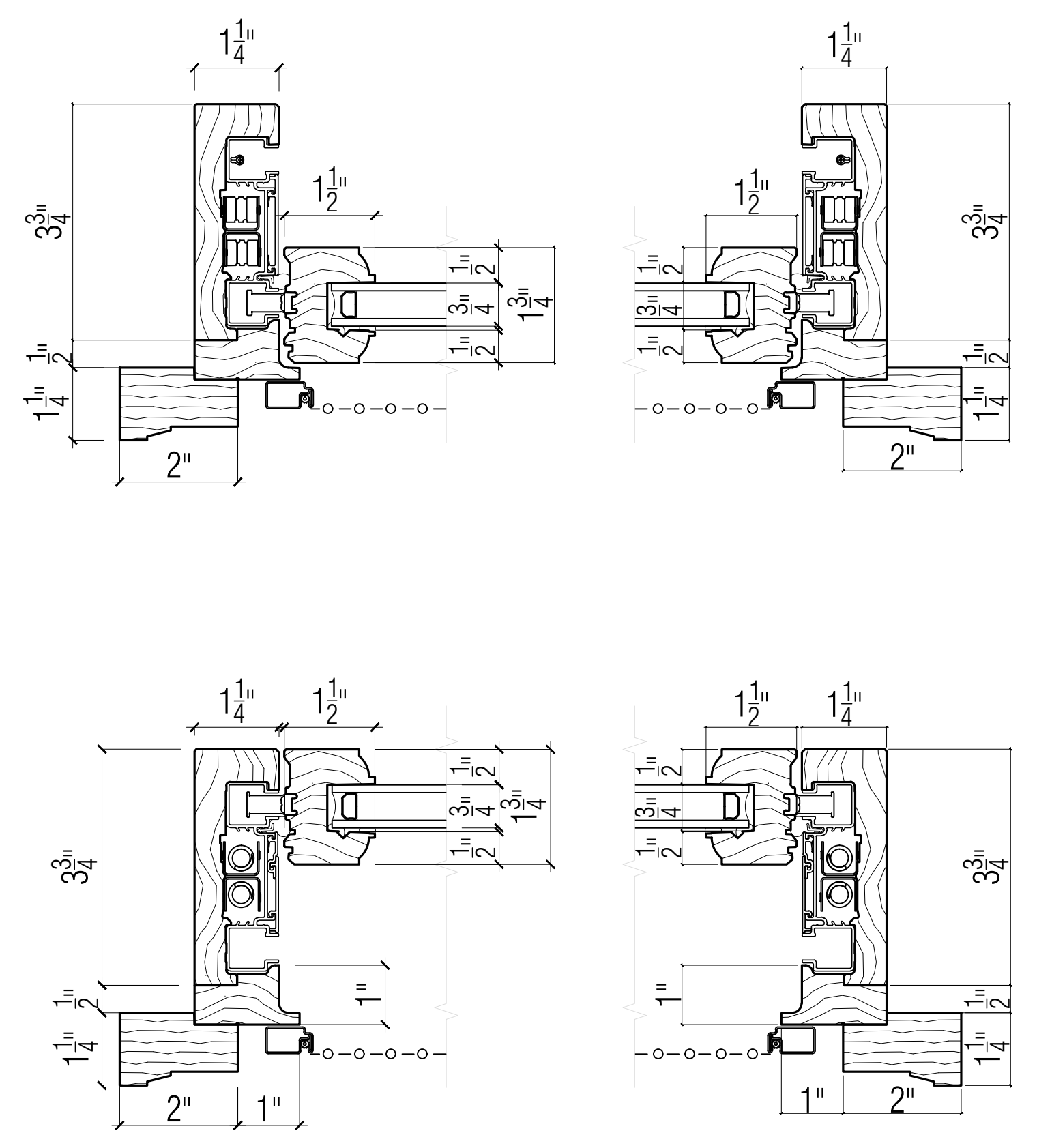
ISSUE		
DATE	#	DESCRIPTION
4/10/2018	1	SUBMIT TO LPC



1 PROPOSED STOREFRONT DOOR DETAIL
SCALE: 6"=1'-0"



2 PROPOSED DOUBLE HUNG WINDOWS HEAD/CHECK RAIL/SILL/JAMB DETAIL (TYP)
SCALE: 6"=1'-0"



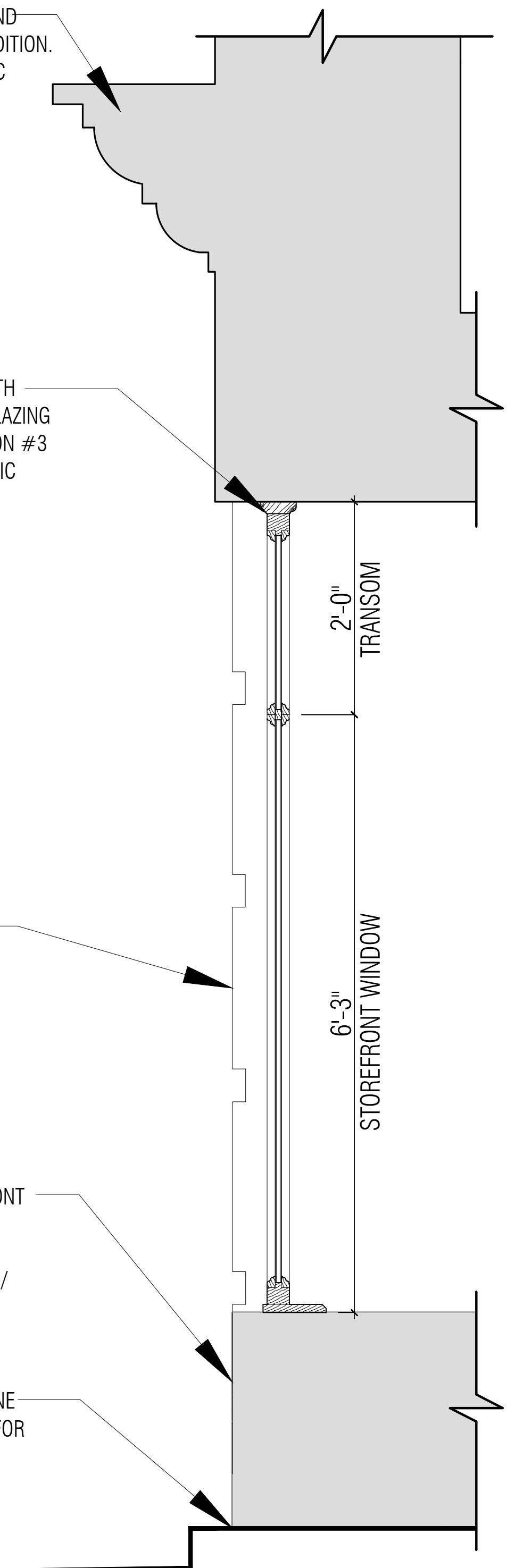
EXISTING CORNICE TO BE SCRAPPED AND PAINTED. RESTORE TO ORIGINAL CONDITION. PAINT WITH BENJAMIN MOOR CLASSIC COLORS / GRECE AVENUE 991

NEW WOOD STOREFRONT SYSTEM WITH TEMPERED LAMINATED INSULATED GLAZING WITH ULTRA CLEAR LOW-E COATING ON #3 SURFACE. DESIGN TO MATCH HISTORIC DOCUMENTATION OF BUILDING

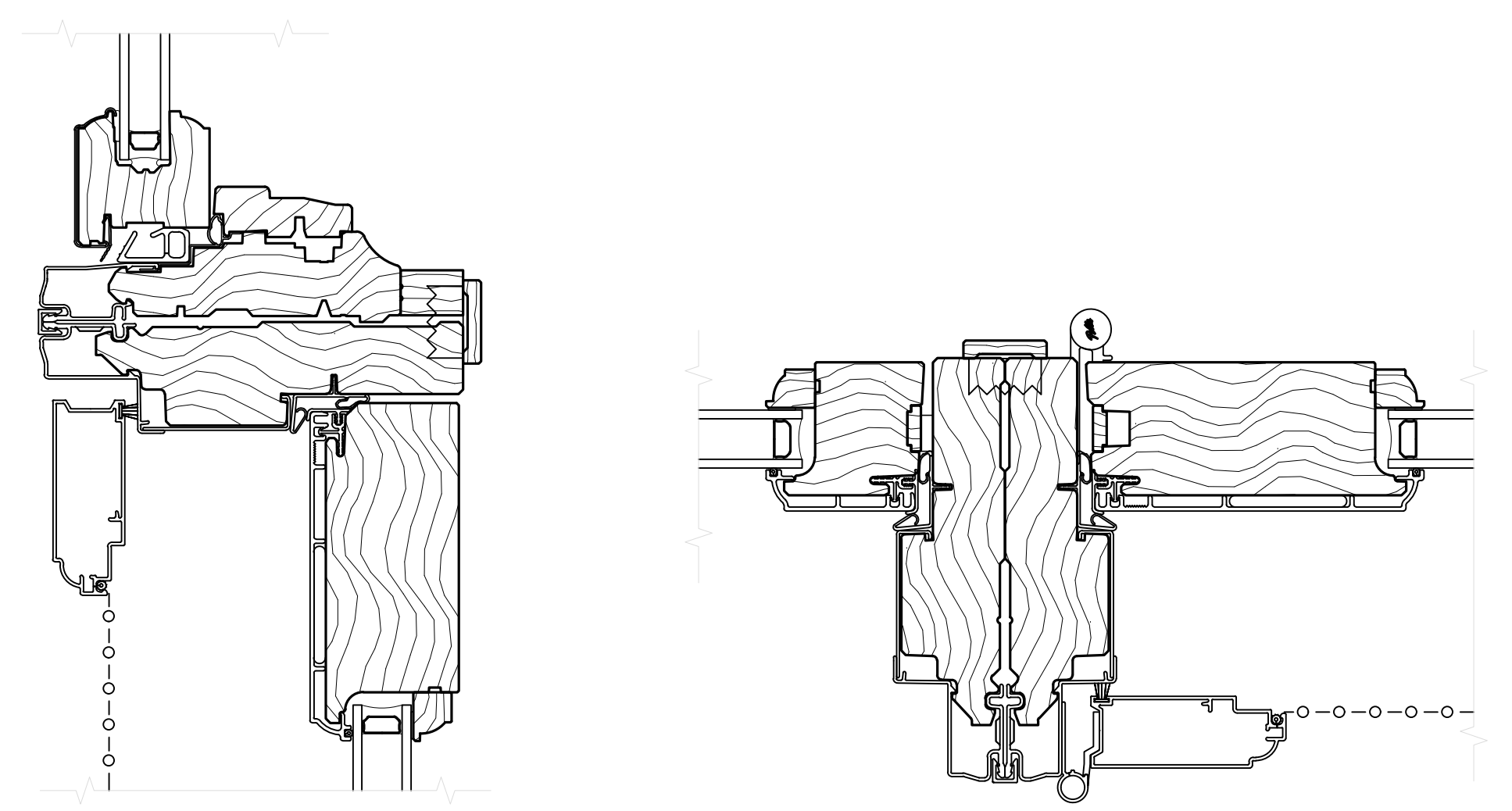
EXISTING MASONRY AT EXTERIOR WALL BEYOND

SCRAPE AND PAINT EXIST. STOREFRONT BASE AS NEEDED TO RESTORE TO ORIGINAL CONDITION. PAINT WITH BENJAMIN MOORE CLASSIC COLORS / GRECE AVENUE 991

EXISTING CONCRETE OR BROWNSTONE BASE TO REMAIN (REFER TO PLANS FOR MATERIAL)



4 PROPOSED STOREFRONT WINDOW DETAIL (TYP.)
SCALE: 1"=1'-0"



3 PROPOSED DOOR/TRANSOM HEAD/SILL/JAMB DETAIL
SCALE: 6"=1'-0"

SEAL:

PROJECT TITLE:

**224 CENTRE ST.
NEW YORK, NY**

DRAWING TITLE:

DOOR & WINDOW DETAILS

PROJECT# **08203** SHEET: **10 of 12**

A-301.00

B-SCAN

EXAMPLES OF LANDMARK BUILDINGS WITH CAST IRON DOORS



NYC MUNICIPAL LIBRARY - 1 ELK STREET ENTRANCE



224 CENTRE STREET - EXISTING MAIN ENTRANCE



PROPOSED CAST IRON DOORS



FORMERLY NYC POLICE HEADQUARTERS - 240 CENTRE STREET



SUPER IMPOSED PROPOSED CAST IRON DOORS ON EXISTING BUILDING



1 PROPOSED CAST IRON DOORS

SCALE: 1/4" = 1'-0"



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GREAT NECK, NEW YORK 11021
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PROJECT TITLE
**224 CENTRE STREET
NEW YORK, NY**
LPC PRESENTATION

DRAWING TITLE
**CAST IRON DOORS &
OTHER LANDMARK
BUILDINGS**

P-5
Plot Date 5/1/18